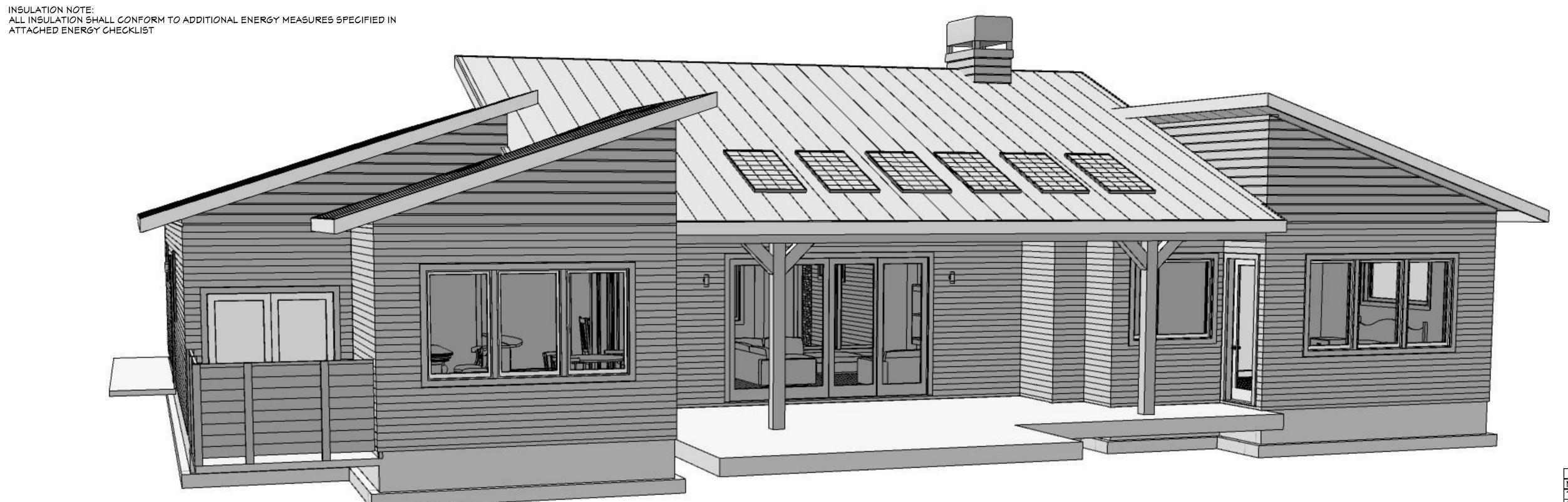
MINIMUM STRUCTURAL DESIGN LOADS DESIGN LOADS: SNOW - 55# MIND - 100 MPH SEISMIC DESIGN CATEGORY C FROST DEPTH - 18 INCHES EXPOSURE - C MINIMUM UNIFORM LIVE LOADS BALCONIES - 60 LBS. SQ.FT. DECKS - 40 LBS. SQ.FT. FIRE ESCAPES - 40 LBS. SQ.FT. GARAGES - 50 LBS. SQ.FT. ATTICS (NO STORAGE) - 10 LBS. SQ.FT. ATTICS (LIMITED STORAGE) - 20 LBS. SQ.FT. ATTICS (SERVED W/ FIXED STAIRS) - 30 LBS. SQ.FT. DWELLINGS - 40 LBS. SQ.FT. STAIRS - 40 LBS. SQ.FT. GUARDRAILS & HANDRAILS 200 LBS. SQ.FT. ADDITIONAL ENERGY MEASURES PROVIDED. RESIDENTIAL ENERGY ENVELOPE ENHANCEMENT MEASURE 3: INSULATION: FLOORS-UNDERFLOOR- R30 SLAB EDGE PERIMETER- R15 HEATED SLAB, INTERIOR- R10 FLOOR ASSEMBLY OVER UNCONDITIONED SPACE- R30 ABOVE GRADE- R21 BELOW GRADE- R19 FOR FRAMED ASSEMBLIES OR R15 CONTINUOUS CEILINGS-FLAT- R49 WITH MIN R21 AT EDGE SCISSOR TRUSS VAULT- R38 RAFTER VAULT- R30 WINDOWS- U0.30, AND PERFORMANCE TESTED DUCT SYSTEM GAS FIRED FURNACE OR BOILER WITH MINIMUM AFUE OF 90% OR AIR-SOURCE HEAT PUMP WITH MINIMUM HSPF OF 8.5 OR CLOSED LOOP GROUND SOURCE HEAT PUMP WITH MINIMUM COP OR 3.0 GLAZING NOTE: ALL GLAZING SHALL CONFORM TO ADDITIONAL ENERGY MEASURES SPECIFIED IN ATTACHED ENERGY CHECKLIST INSULATION NOTE:

CONSERVATION MEASURE OPTION A- HIGH EFFICIENCY HVAC SYSTEM

ROB LITTLETON INC. DOES NOT REPRESENT ITSELF AS AN ARCHITECT, ENGINEER OR SURVEYOR. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/ BUILDER TO OBTAIN ALL BUILDING PERMITS AND TO VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS AND SITE CONDITIONS WITH THEIR CONTRACTOR, ENGINEER AND/ OR SURVEYOR PRIOR TO CONSTRUCTION.







REAR ((RIVER)	PERSPECTIVE
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NUMBER	LABEL	TITLE	
1	A0.01	COVER SHEET	
2	A0.02	PLAN NOTES	
3	A1.01	SITE PLAN	
4	A1.02	MAIN FLOOR PLAN	
5	A1.03	FOUNDATION AND FLOOR FRAMING	
6	A1.04	ROOF FRAMING PLAN	
7	A2.01	EXTERIOR ELEVATIONS	
8	A2.02	EXTERIOR ELEVATIONS	
9	A3.01	BUILDING SECTIONS	
12	55 .01	DETAILS- STRUCTURAL	

RESERVED FOR BUILDING

DEPARTMENT STAMP

DATE: 1/6/2017

SCALE: 1/4"=1' U.N.O.

SHEET TITLE: **COVER SHEET**

SHEET:

GENERAL:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES.
2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE DESIGNER/ENGINEER HARMLESS FOR INJURY OR DEATH TO PERSONS OR FOR DAMAGE TO PROPERTY

CAUSED BY NEGLIGENCE OF THE CONTRACTOR, HIS AGENTS, EMPLOYEES OR SUBCONTRACTORS.

3. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ADJACENT WORK AND SHALL REPAIR SAID DAMAGE AT HIS OWN EXPENSE. CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS.

4.CODES: ALL WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES. IN CASE OF CONFLICT WHERE METHODS OR STANDARDS OF INSTALLATION OF THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN. NOTIFY THE DESIGNER OF ALL CONFLICTS.

DIMENSIONS:

1.ALL INFORMATION SHOWN ON THE DRAWINGS, RELATIVE TO THE EXISTING CONDITIONS ARE GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY, THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR CONDITION ADVERSELY AFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE WORK.

2. EXTERIOR DIMENSIONS OF PLANS ARE TO BUILDING GRIDLINES OR FACE OF FRAMING UNLESS NOTED OTHERWISE.

3. INTERIOR DIMENSIONS OF PLANS ARE TO GRIDLINES OR FACE OF FRAMING UNLESS NOTED OTHERWISE.
4. DO NOT SCALE DRAWINGS: THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE PLANS AND ACTUAL FIELD MEASUREMENTS. NOTIFY THE DESIGNER IF DISCREPANCIES ARE FOUND.

5. COORDINATION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND COORDINATION OF THE WORK OF ALL TRADES TO ASSURE COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS.

FIRE PROTECTION:

1. PROVIDE FIRE PROTECTION AT ALL PENETRATIONS OF FIRE RATED ELEMENTS AS REQUIRED BY THE CODE.

CONSTRUCTION:

1. CONTRACTOR SHALL INVESTIGATE AND VERIFY LOCATIONS OF STRUCTURAL, MECHANICAL AND ELECTRICAL ELEMENTS AND OTHER EXISTING CONDITIONS PRIOR TO BEGINNING THE WORK.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WALL BLOCKING FOR ALL WALL AND CEILING MOUNTED ITEMS.

3. THERE SHALL BE NO EXPOSED PIPES, CONDUITS, DUCTS, VENTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED AND FINISHED, UNLESS NOTED AS EXPOSED ON THE CONSTRUCTION DRAWINGS,

4. PROVIDE GALVANIC ISOLATION BETWEEN DISSIMILAR METALS.

5. GENERAL CONTRACTOR IS TO COORDINATE WITH ELECTRICAL AND PLUMBING CONTRACTORS FOR ALL REQUIRED ROUGH-INS AND TRENCHING REQUIRED FOR ELECTRICAL AND PLUMBING RUNS.

6. PROVIDE PRESSURE TREATED WOOD AT ALL LOCATIONS WHERE WOOD IS TO BE EXPOSED TO THE EXTERIOR OR WHERE WOOD COMES INTO CONTACT WITH CONCRETE OR SOIL.

CARPENTRY:

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS SHALL BE COMMON NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R602.3(1).

GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AITC 117. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD. GLULAM HANGERS NOT SHOWN SHALL BE SIMPSON EG. BEAMS SHALL BE VISUALLY GRADED WESTERN SPECIES INDUSTRIAL GRADE, AND OF THE STRENGTH INDICATED BELOW:

COMBINATION

DEPTHSYMBOLSPECIESUSEALL24F - V4DF/DF(SIMPLE SPAN)ALL24F - V8DF/DF(CONT. OR CANTILEYER)

PREMANUFACTURED WOOD JOISTS: PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUS JOIST COMPANY, OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE JOIST MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF JOISTS IN WRITING TO THE ARCHITECT/ENGINEER. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS,

LUMBER SPECIES:

A. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2

B. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER

C. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2.

D. ALL STUDS TO BE DF#2 OR BETTER.

E. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:

ROOF SHEATHING SHALL BE 1/2" CDX INT-APA RATED 32/16 OR 5/8" OSB.

WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB.

FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.

DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ICBO APPROVED.

F. 'I'JOISTS SHALL BE MANUFACTURED BY TRUS JOIST OR ENGINEER APPROVED EQUAL.

G. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

TOE NAIL (3)-8d

END NAIL (2)-16d

FACE NAIL 16d @ 16"OC

TOE NAIL (4)-8d, END NAIL (2) 16d

NAILING NOTES: (PER IRC TABLE R602.3(1)) UNLESS SPECIFIED IN ENGINEERS CALCULATIONS

JOIST TO SILL OR GIRDER SOLE PLATE TO JOIST OR BLK'G STUD TO SOLE PLATE TOP PLATE TO STUD

DOUBLE STUDS

DOUBLE TOP PLATES

CONTINUOUS HEADER, TWO PIECES

TOP PLATES, LAPS AND INTERSECTIONS

FACE NAIL 16d @ 24" OC
FACE NAIL 16d @ 16" OC
FACE NAIL 16d @ 24" OC
FACE NAIL 16d @ 16" OC
FACE NAIL 16d

CEILING JOISTS TO PLATE

CONTINUOUS HEADER TO STUD

CEILING JOISTS TO PARALLEL RAFTERS

RAFTER TO PLATE

BUILT-UP CORNER STUDS

TOE NAIL (3)-8d

TOE NAIL (4)-8d

FACE NAIL (3)-10d

TOE NAIL (2)-16d

10d @ 24" OC

PLYWOOD -OSB ROOF AND WALL EDGES 8d @ 6" OC SHEATHING INTERMEDIATE 8d @ 12" OC (U.N.O. IN ENG.)

PLYWOOD SUBFLOOR EDGES 8d @ 6" OC INTERMEDIATE 8d @ 12" OC

GENERAL PLUMBING & HVAC NOTES:

HVAC SHALL BE ZONED WHERE APPLIES

THE HEAT SOURCE SHALL CONFORM TO THE SPECIFICATIONS SET FORTH IN THE ADDITIONAL ENERGY MEASURES SUPPLIED FOR THIS PROJECT

METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND.

DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER.

ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.

TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120*F.

A MINIMUM OF ONE EXTERIOR HOSE BIB SHALL BE SUPPLIED- CONFIRM WITH BUILDER

HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED AS REQUIRED BY THE ENERGY MEASURES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL

SITE NOTES

SITE INFORMATION PROVIDED BY COUNTY TAX MAP AND OWNER VERIFICATION.ALL SITE CONDITIONS TO BE VERIFIED PRIOR TO CONSTRUCTION

ALL SETBACKS, EASEMENTS AND CC&R REQUIREMENTS TO BE VERIFIED PRIOR TO CONSTRUCTION

FINAL SITING OF THE DWELLING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR

ALL HARDSCAPE DRAINAGE TO BE DIRECTED TO LANDSCAPE DRAINAGE CONTAINMENT OR CITY DRYWELL OR STORM WATER COLLECTION WHERE APPLICABLE

CONFIRM ALL UTILITIES AND TRENCH LOCATIONS WITH CONTRACTOR PRIOR TO CONSTRUCTION

PROVIDE EROSION CONTROL AND SILT FENCING AT PROJECT PERIMETER

GRADING NOTES:

CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.

PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.

FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES.

DRAINAGE CONTAINMENT CALCULATIONS SHALL BE LISTED ON THE SITE DRAWINGS AND BASED ON LOCAL CODE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.

PLACE FILL SLOPES WITH A GRADIENT STEEPER THAT 3:1 IN LIFTS NOT TO EXCEED 12 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

FOUNDATION NOTES

ANCHOR BOLTS TO BE SPACED AT 48" O.C. MAX U.N.O ON SHEAR WALL PLAN.

ENGINEERED RETAINING WALLS MAY BE REQUIRED @ ALL LOCATIONS WHERE THE DISTANCE FROM FOOTING TO THE TOP OF THE MATERIAL BEING RETAINED IS EQUAL TO OR GREATER THAN 4' OR IF THERE IS A SURCHARGE ON THE WALL. (I.E.- SLOPING HILL, DRIVEWAY OR GARAGE SLAB ABOVE)

CONTRACTOR TO VERIFY PLAN TO ACTUAL SITE CONDITIONS AND CONTACT ENGINEER IF RETAINING WALLS ARE REQUIRED.

DOOR AND WINDOW NOTES:

RATING OF 20 MINUTES.

RAILING NOTES:

"X" GYPSUM WALL BOARD.

CROSS-SECTIONAL DIMENSION.

DIAMETER SPHERE TO PASS THROUGH.

ELECTRICAL, DATA, & AUDIO NOTES:

ELECTRICAL CODE REQUIREMENTS.

BATTERY BACKUP FOR ALL UNITS.

APPROVED BY HOME OWNER.

3. FIXTURES TO BE SELECTED BY HOME OWNER.

AUDIO HOME PANEL SPECIFIED BY FLOOR;

2. AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;

ELECTRICAL NOTES:

(SEE R314 & R315)

DATA / CABLE:

AREA OF 5.7 SQ. FT. AT UPPER FLOOR LEVELS.

CONTROL DEVICE (MOCD) OR SIMILAR.

BASEMENTS AND EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW. FINISH SILL HEIGHT

OPERABLE WINDOWS INSTALLED WHERE THE SILL IS LESS THAN 24" ABOVE FINISH FLOOR INTERIOR AND

INTERIOR DOORS SHALL BE PAINTED OR STAINED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A

AT LEAST ONE EXTERIOR EXIT DOOR WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCROACH A MAX. OF 3 1/2" INTO THE REQUIRED

ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO

TREADS SHALL HAVE A MIN. WIDTH OF 9". STAIR TREADS MUST BE UNIFORM AND CAN NOT YARY FROM THE

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND

36" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND

HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR

1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. ORG.F.I.C. PER NATIONAL

2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE SMOKE / CARBON MONOXIDE DETECTOR IN EACH

1. LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO

3. LOCATE JACKS AS INDICATED IN THE PLAN: INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE

LOCATE SECURITY PANELS AS INDICATED IN THE PLAN: SYSTEM TO BE APPROVED BY HOME OWNER.

CORRIDOR ACCESSING BEDROOMS WITHIN 15 FEET. CONNECT SMOKE DETECTORS TO HOUSE POWER AND

INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6"

LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN

GREATER THAN 72" ABOVE GRADE OR OTHER SURFACE SHALL HAVE AN APPROVED WINDOW OPENING

EGRESS WINDOWS AT GRADE FLOOR SHALL HAVE A MINIMUM OPENABLE AREA OF 5.0 SQ.FT.

EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

WINDOWS IN HAZARDOUS LOCATIONS PER R308.4 SHALL HAVE SAFETY GLAZING PER R308.1

IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60

STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.

WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL

OUTLETS, LIGHTS, SMITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL

LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 30" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

EXTERIOR SPIRAL STAIRS TO BE FABRICATED AND INSTALLED PER THE MFG. INSTRUCTIONS.

1. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.

2. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.

GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS

LARGEST TO THE SMALLEST BY MORE THAN 3/8".

SHALL NOT BE GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE

STEP FOOTING AND STEMMALL AS REQUIRED BY GRADE.

PROVIDE CLOSEABLE FOUNDATION VENTS (1 PER 150 SQ')

PROVIDE 6 MIL VAPOR BARRIER @ CRAWL SPACE.

TYP FOUNDATION WALL AT 1 STORY CONSTRUCTION TO BE 24"H X 6" CONC. WALL WITH (2) #4 BAR HORIZ. CONT. AND (1) #4 BAR YERT @ 48" O/C .

TYP FOUNDATION WALL AT 2 STORY CONSTRUCTION TO BE 24"H \times 8" CONC. WALL WITH (2) #4 BAR HORIZ. CONT. AND (1) #4 BAR YERT @ 48" O/C .

FOR 36"H WALL PROVIDE (3) #4 BAR HORIZ. CONT. AND (1) #4 BAR VERT. @ 24" O/C. FOR 48"H WALL PROVIDE (4) #4 BAR HORIZ. CONT. AND (1) #4 BAR VERT. @ 24" O/C.

TYP STRIP FOOTING AT 1 STORY FOUNDATION WALL TO BE 12"W X 6"D CONC FOOTING WITH (2) #4 BAR CONT.

TYP STRIP FOOTING AT 2 STORY FOUNDATION WALL TO BE 16"W X 8"D CONC FOOTING WITH (2) #4 BAR CONT.

FLOOR FRAMING NOTES

AT LOWER FLOOR USE 3/4" T&G PLYMOOD OR 3/4" EDGEGOLD SUBFLOOR OVER 9 1/2" I JOISTS.

AT UPPER FLOOR USE 3/4" T&G PLYWOOD OR 3/4" EDGEGOLD SUBFLOOR OVER 11 7/8" I JOISTS.

GLUE AND NAIL W/ 8D NAILS @ 6" O.C. EDGES & 12" FIELD U.N.O.

SEE MANUFACTURERS PLAN FOR SPACING & TYPE.

WHERE TOP OF FLOOR BEAMS ARE EVEN WITH TOP OF JOISTS PROVIDE APPROPRIATE SIMPSON TOP FLANGE OR FACE MOUNT HANGER.

NAIL RIM BOARD TO SILL PLATE @ 4" O.C. U.N.O. IN ENGINEERS CALCULATIONS

WALL FRAMING NOTES

STRUCTURAL CONNECTORS TO BE SIMPSON (OR EQ.) INSTALLED WITH MAX. NAILING. USE GALVANIZED NAILS WHERE EXPOSED TO WEATHER.

ALL EXTERIOR WALLS TO BE 2X6 #2 DF STUDS @ 16" O.C. W/ 7/16" O.S.B. OR SIM. INSTALLED W/ 8D NAILS @ 6" O.C. EDGES & 12" FIELD U.N.O.

ALL INTERIOR WALLS TO BE 2X4 #2 DF STUDS @ 16" O.C.

TYP. HEADER 4X8 #2 DF U.N.O.

TYP. HEADER BEARING SUPPORT- (1) 2X TRIMMER & (1) 2X KING STUD U.N.O. PLACE DBL TRIMMERS @ HEADERS OVER 10" IN DEPTH OR OPENINGS GREATER THAN 8' IN WIDTH.

PROVIDE FULL WIDTH 2X BEARING UNDER ALL BEAM SUPPORT POINTS TO FOUNDATION U.N.O.

REFERENCE PLANS FOR BEAM SIZES OR STRUCTURAL CONNECTIONS NOT DEFINED HERE.

REFERENCE PLANS FOR ADDITIONAL ENGINEERS SPECIFICATIONS.

ALL FRAMING AND FASTENING SHALL COMPLY TO THE MOST CURRENT LOCAL BUILDING CODES.

ROOF FRAMING NOTES

TYP. ROOF FRAMING WILL BE MANUFACTURED TRUSSES @ 24" O.C. OR #2 D.F. RAFTERS @ 24" O.C. (U.N.O)

TYP HEADER TO BE 4X8 GDF UNO ON HEADER SCHEDULE.

TRUSS MANUFACTURER TO PROVIDE ALL DRAWINGS AND ENGINEERING FOR TRUSSES.

TRUSS MANUFACTURER TO SPECIFY ALL CONNECTIONS AND HANGERS.

INSTALL ALL PERMANENT BRACING AS PER ENGINEERED TRUSSES DRAWINGS.

OVERFRAME IN DESIGNATED AREAS W/ 2X6 #2 D.F. (SUPPORT TO MAIN ROOF FRAMING @ 48" O.C. MAX.)

SHEATHING TO BE 5/8" OSB OR EQ. NAILED @ 6" EDGES & 12" FIELD

PROVIDE 2 COURSES OF ICE DAM PROTECTION MIN AT ROOF PERIMETER

PROVIDE ROOF VENTING PER CODE.

30# ROOFING FELT & STANDING SEAM METAL ROOFING.

RESERVED FOR BUILDING
DEPARTMENT STAMP

NUMBER DATE REV BY DESCRIPTION

PROJECT LOCATION:
ROLIN RESIDENCE
LOT 13 RIVER MEADOW!
BEND OR, 41101

SIENNA BUILDING COMP, STEVE MCDOWELL 541-241-0406

ESIDENTIAL CONSTRUCTION
AND DESIGN
1-280-1120 PH PO BOX 7167
-610-1744 FAX BEND OR,97708

OB TITLETON INC.

DATE:

1/6/2017

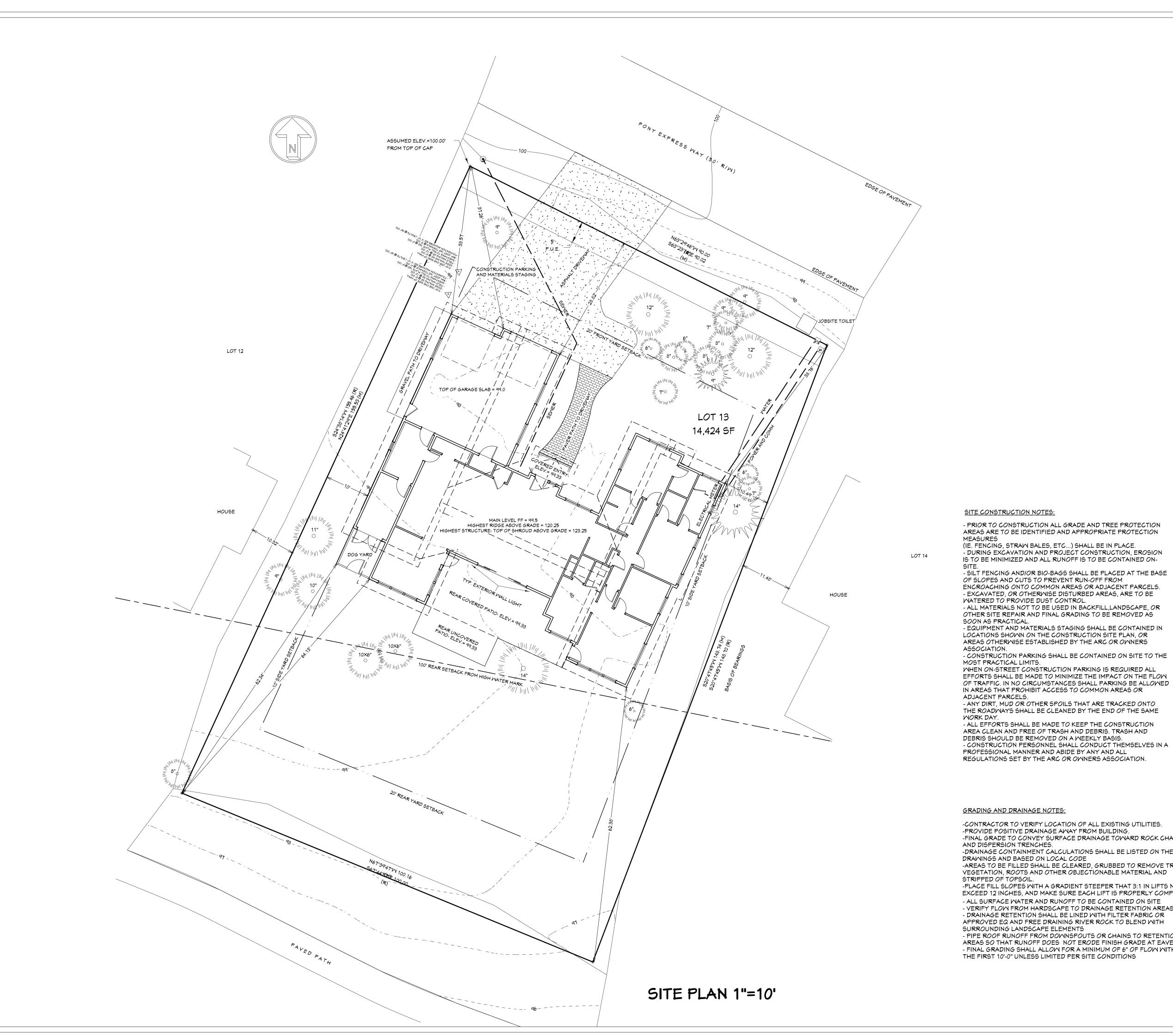
1/4"=1' U.N.O.

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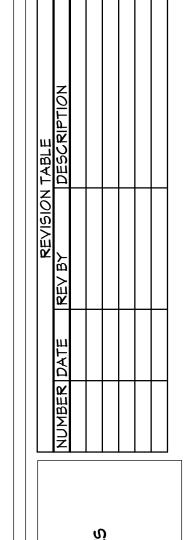
SHEET TITLE: PLAN NOTES

SHEET:

A0.02



RESERVED FOR BUILDING DEPARTMENT STAMP



LEGEN

O FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAPSTAMPED "SCE&S"

(R) BEARING & DISTANCE PER PLAT OF "RIVER MEADOWS"BY MICHAEL TYE, FILED 01/25/1990 AS C509342

(M) MEASURED BEARING & DISTANCE FENCING- NONE PROPOSED





LODGEPOLE PINE TREE &



PONDEROSA PINE TREE & DIAMETER- TO BE REMOVED (0)



LODGEPOLE PINE TREE & DIAMETER- TO BE REMOVED (23)

M MATER METER

POWER PEDESTAL SEWER

VALVE P.U.E PUBLIC UTILITY EASEMENT

> REGISTERED **PROFESSIONAL** LAND SURVEYOR

OREGON JULY 26, 1989 JAMES D. PERRY 2407 RENEWS 12-31-2016

GRADING AND DRAINAGE NOTES:

-CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. -PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. -FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES.

-DRAINAGE CONTAINMENT CALCULATIONS SHALL BE LISTED ON THE SITE DRAWINGS AND BASED ON LOCAL CODE -AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND

-PLACE FILL SLOPES WITH A GRADIENT STEEPER THAT 3:1 IN LIFTS NOT TO EXCEED 12 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED. - ALL SURFACE WATER AND RUNOFF TO BE CONTAINED ON SITE - VERIFY FLOW FROM HARDSCAPE TO DRAINAGE RETENTION AREAS - DRAINAGE RETENTION SHALL BE LINED WITH FILTER FABRIC OR APPROVED EQ AND FREE DRAINING RIVER ROCK TO BLEND WITH SURROUNDING LANDSCAPE ELEMENTS

- PIPE ROOF RUNOFF FROM DOWNSPOUTS OR CHAINS TO RETENTION AREAS SO THAT RUNOFF DOES NOT ERODE FINISH GRADE AT EAVE - FINAL GRADING SHALL ALLOW FOR A MINIMUM OF 6" OF FLOW WITHIN THE FIRST 10'-0" UNLESS LIMITED PER SITE CONDITIONS

SURVEYORS NOTES:

THIS SURVEY IS FOR TOPOGRAPHIC PURPOSES ONLY AND DOES NOT MEET THE REQUIREMENTS OF A BOUNDARY SURVEY AND IS SUBJECT TO ANY INACCURACIES THAT A SUBSEQUENT BOUNDARY SURVEY MAY REVEAL.

CONTOURS ARE BASED ON AN ASSUMED DATUM AND HAVE NO RELATIONSHIP TO SEA LEVEL DATUM.

THIS PROPERTY IS SUBJECT TO ALL EASEMENTS, RESTRICTIONS, AND RIGHTS-OF-WAY OF RECORD AND THOSE BUILDING LOT COVERAGE AND CALCULATIONS:

LOT AREA= 14,424 SQ.FT ALLOWABLE LOT COVERAGE 30% ARC COMPLIANCE = 4327 SQ.FT. PROPOSED BUILDING COVERAGE = 3555 SQ. FT. = 24.64%

IMPERVIOUS AREA:

TOTAL= 5575 SQ.FT.

38.**65**% OF LOT

DRIVEWAY= 1243 SQ.FT. MALKMAY= 130 SQ.FT. ROOF AREA= 4202 SQ.FT. DATE:

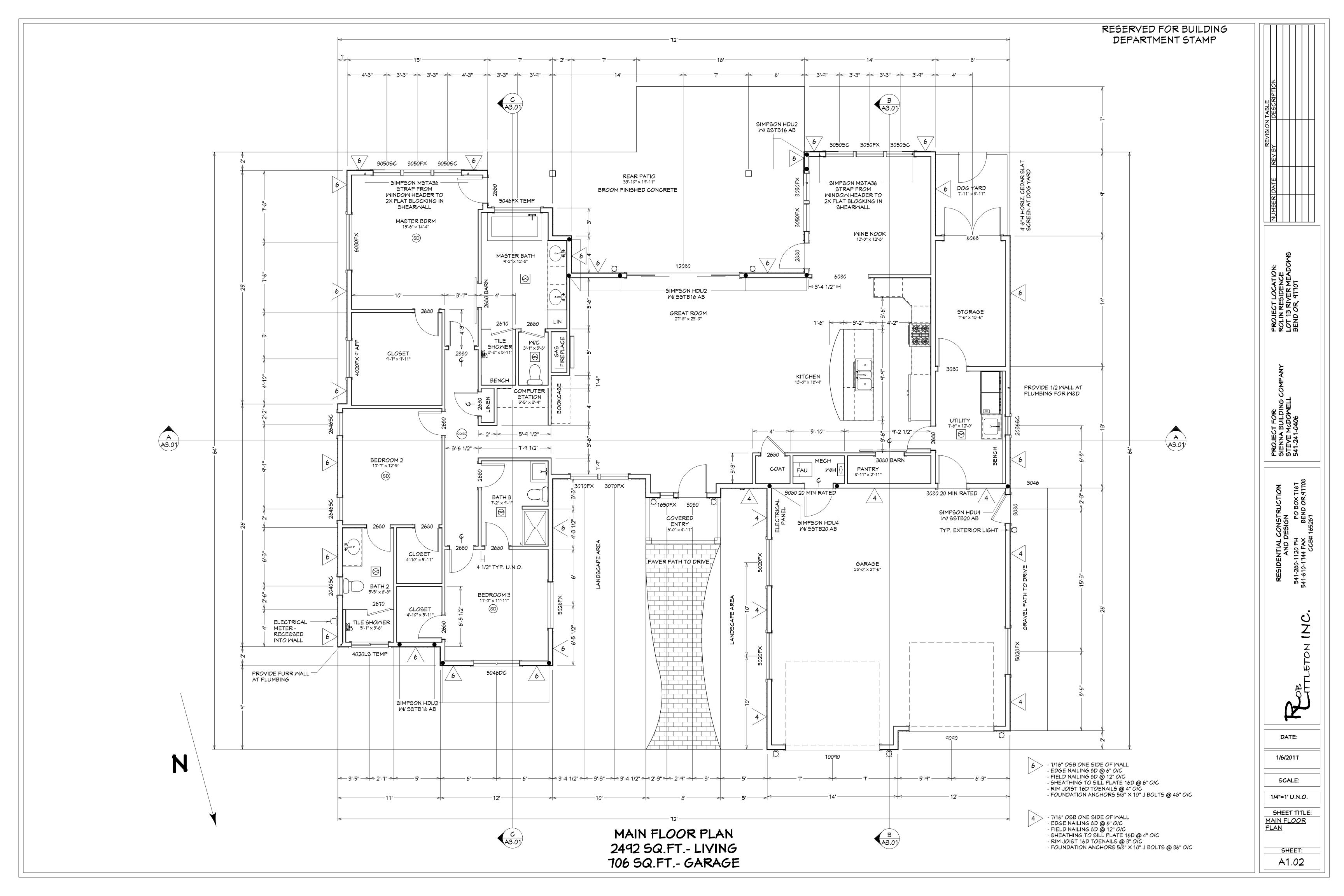
1/6/2017

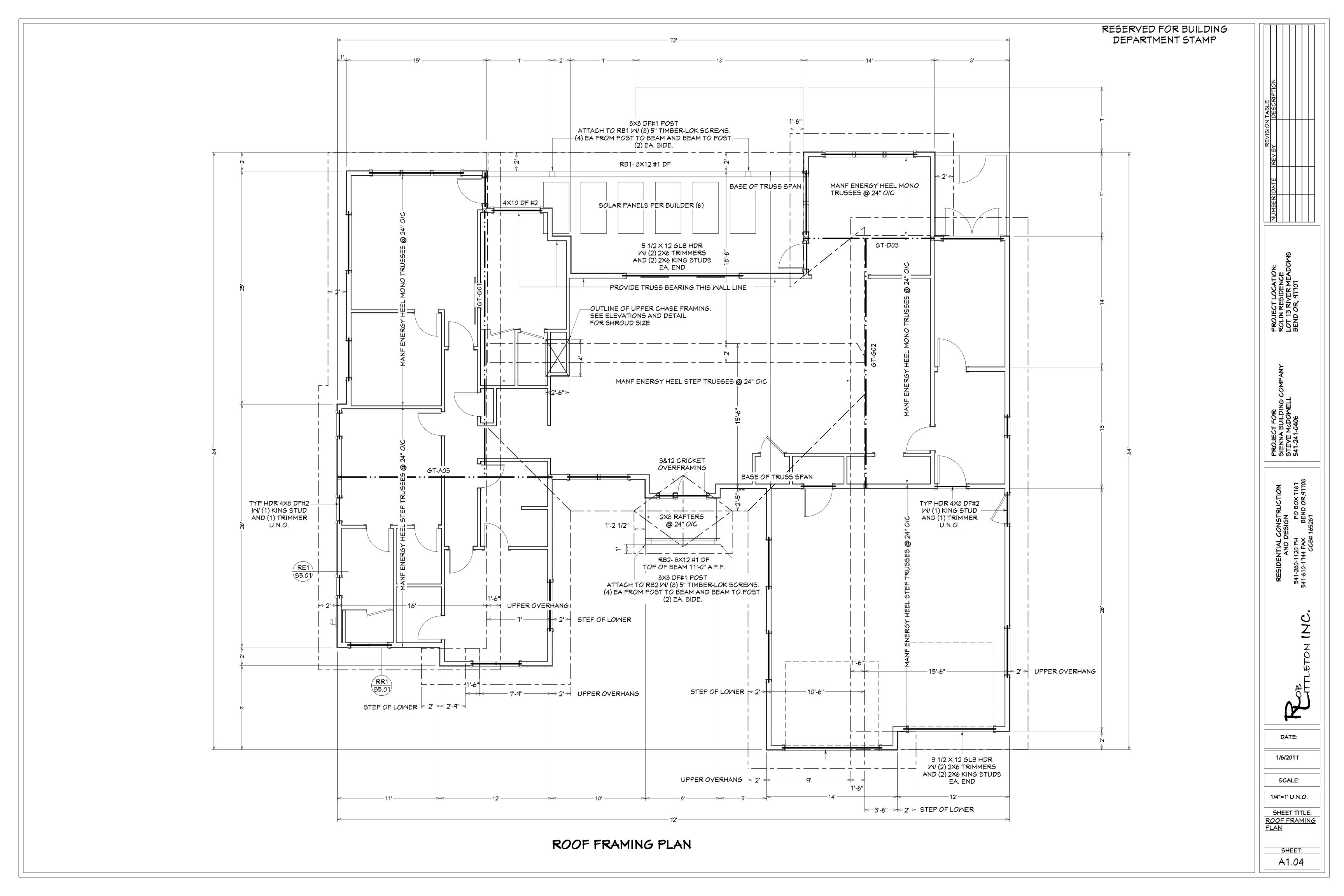
SCALE:

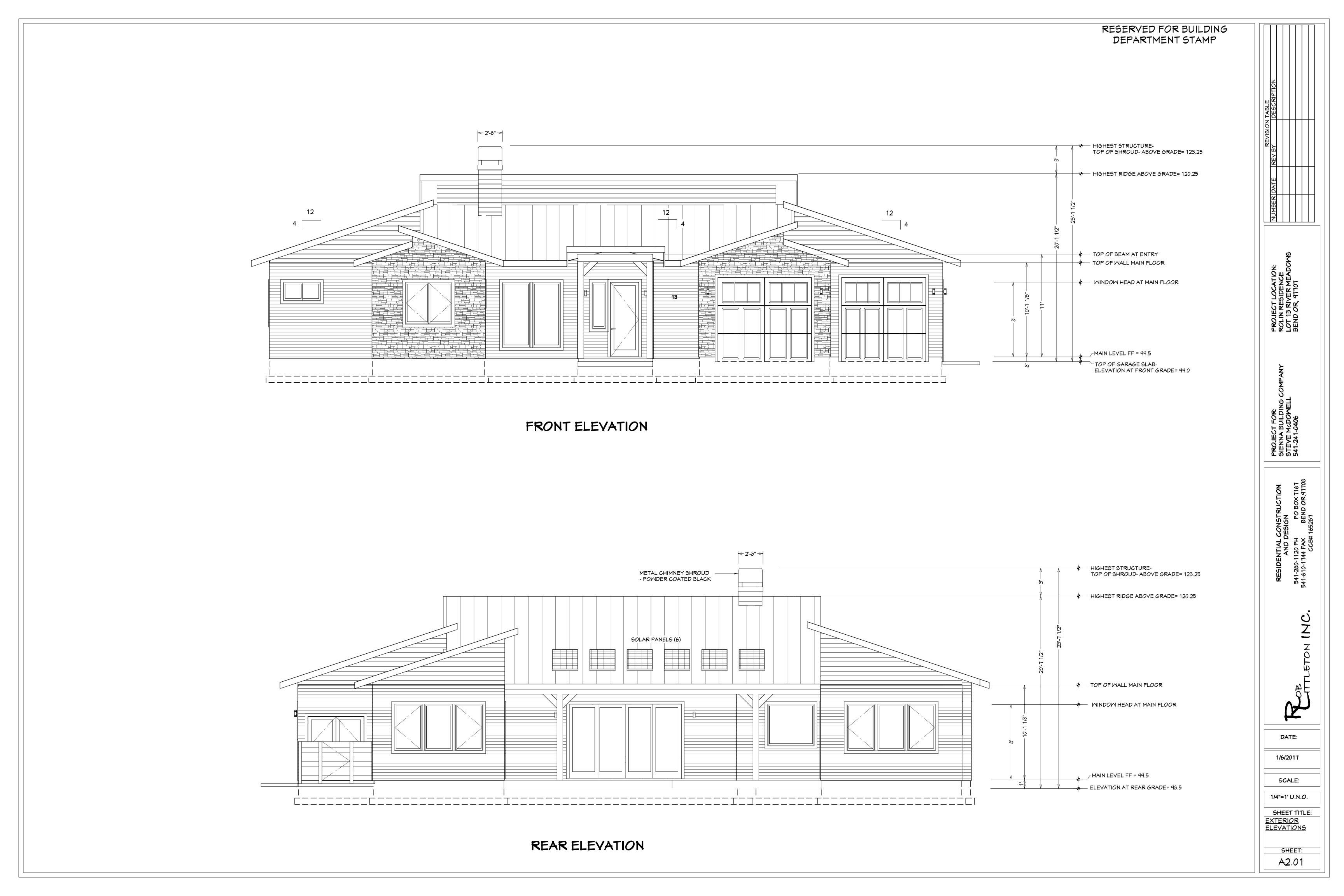
1/4"=1' U.N.O. SHEET TITLE:

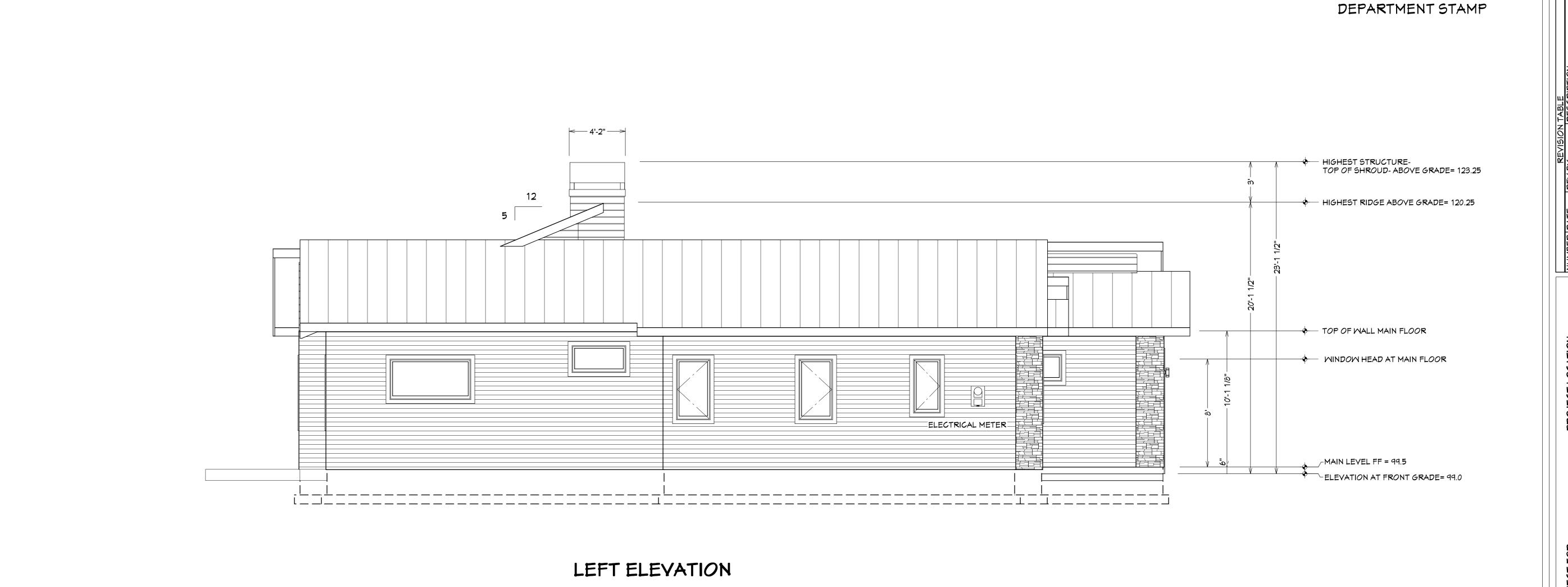
SITE PLAN

SHEET: A1.01











ROOFING - TAYLOR METALS - STANDING SEAM METAL, MEDIUM BRONZE FASCIA - 2X8 PRIMED TRIM

MINDOMS- ATRIUM - ADOBE ENTRY DOOR- TO BE DETERMINED BY BUILDER MASTER BEDROOM DOOR- THEERMA-TRU FIBERGLASS, SINGLE PANEL GLASS GARAGE AND STORAGE DOORS- THERMA-TRU SOLID PANEL, SM6075 GARRET GRAY OVERHEAD GARAGE DOORS- WAYNE DALTON 8300- STEEL, SM6076- TURKISH COFFEE

SIDING - MAIN BODY - 5 1/4" HARDI-LAP W/ 4" EXPOSURE, SW6075- GARRET GRAY SIDING - GABLE ENDS & UPPER WALLS - 1X8 CVG CEDAR CHANNEL- HORIZONTAL SIDING - DOG YARD 1X6 HORIZ. CEDAR SLAT SCREEN WALL

4X4 CEDAR POSTS 2X4 CEDAR CAP- CONT.

CORNER TRIM - METAL CORNERS

BAND TRIM - N/A

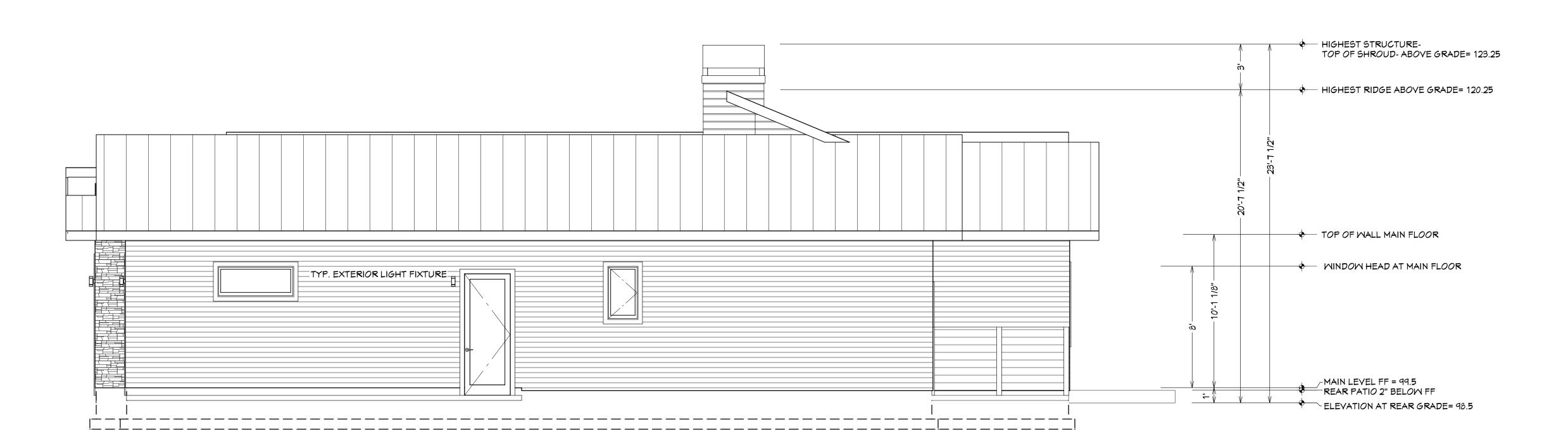
MINDOM TRIM - 5/4 X 4 SIDE TRIM 5/4 X 4 APRON 5/4 X 4 HEAD

STONE VENEER - ALPINE LEDGESTONE - PHEASANT

EXPOSED BEAM MATERIAL- 8X12 RESAWN DF EXPOSED POST AND KNEE BRACE SUPPORTS- 8X8 RESAWN DF

CHIMNEY CHASE - 1X8 CEDAR CHANNEL - HORIZONTAL CHIMNEY SHROUD - POWDER COATED METAL- DARK BRONZE

SOLAR PANELS- TO BE DETERMINED BY BUILDER TYP EXTERIOR WALL LIGHT- DESIGN LIGHTING CLASSICS- BRONZE CYLINDER WALL DOWN LIGHT



RIGHT ELEVATION

DATE: 1/6/2017

RESERVED FOR BUILDING

SCALE:

1/4"=1' U.N.O.

SHEET TITLE: EXTERIOR ELEVATIONS

> SHEET: A2.02



