



BP-14-1466-SFD  
63147 Riverstone Drive  
by: Dave Intel  
dt: 07/15/14

PROJECT LOCATION:  
LOT 1 ENCHANTMENT  
63147 RIVERSTONE DRIVE  
BEND, OR 97701

PROJECT FOR:  
SIENNA BUILDING  
STEVE McDONNELL

FO BOX 1161  
BEND OR 97709

541-280-1120 PH  
541-610-1144 FAX

robittleton@bendbroadband.com  
CCB# 165287

ROB LITTLETON INC.  
RESIDENTIAL CONSTRUCTION  
AND DESIGN

DATE:

7/14/2014

REVISION:

SUBMITTAL  
DRAWINGS  
STRUCTURAL AND  
ENERGY CODE  
REVISION

SCALE:

1/4"=1' UNO

SHEET:

A-1

ROB LITTLETON INC. DOES NOT REPRESENT ITSELF AS AN ARCHITECT, ENGINEER OR SURVEYOR. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/ BUILDER TO OBTAIN ALL BUILDING PERMITS AND TO VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS AND SITE CONDITIONS WITH THEIR CONTRACTOR, ENGINEER AND/ OR SURVEYOR PRIOR TO CONSTRUCTION.

SCOPE OF WORK

CONSTRUCT NEW 3685 SQ.FT. DWELLING

LOWER FLOOR= 1119 SQ.FT.  
MAIN FLOOR = 1439 SQ.FT.  
UPPER FLOOR = 1521 SQ.FT.



MINIMUM STRUCTURAL  
DESIGN LOADS

DESIGN LOADS:
SNOW - 25 LBS. + DRIFT
WIND - 85 MPH + GUST
SEISMIC DESIGN CATEGORY C
FROST DEPTH - 18 INCHES
EXPOSURE- C
MINIMUM UNIFORM LIVE LOADS
BALCONIES - 60 LBS.
DECKS - CONFIRM FRAMED DECK STRUCTURE FOR SUPPORT OF SLATE TILES (MIN 25 LBS PSF IN ADDITION TO STANDARD LOADING))
FIRE ESCAPES - 40 LBS.
GARAGES - 50 LBS.
ATTICS ( NO STORAGE ) - 10 LBS.
DWELLINGS - 40 LBS.
STAIRS - 40 LBS.
GAURDRAILS & HANDRAILS 200 LBS.
SEE ATTACHED ENGINEERING FOR ALL STRUCTURAL AND LATERAL ANALYSIS.

ADDITIONAL ENERGY MEASURES  
PROVIDED.

RESIDENTIAL ENERGY CHECK- ADDITIONAL ENVELOPE ENHANCEMENT MEASURE 3-  
INSULATION :  
FLOORS-  
UNDERFLOOR- R30  
SLAB EDGE PERIMETER- R15  
HEATED SLAB, INTERIOR- R10  
FLOOR ASSEMBLY OVER UNCONDITIONED SPACE- R30  
WALLS-  
ABOVE GRADE- R21  
BELOW GRADE- R15  
CEILING-  
FLAT- R49 WITH MIN R21 AT EDGE  
SCISSOR TRUSS VAULT- R30  
RAFTER VAULT- R30

WINDOWS U-0.30 & PERFORMANCE TESTED DUCT SYSTEM

ADDITIONAL CONSERVATION MEASURES A-  
HIGH EFFICIENCY HVAC SYSTEM:  
GAS FIRED FURNACE OR BOILER WITH MINIMUM AFUE OF 90%A,  
OR AIR SOURCE HEAT PUMP WITH MINIMUM HSPF OF 8.5  
OR CLOSED-LOOP GROUND SOURCE HEAT PUMP WITH MINIMUM COP OF 3.0

ADDITIONAL CONSERVATION MEASURE D-  
HIGH EFFICIENCY WATER HEATER AND LIGHTING:  
NATURAL GAS/PROPANE ON-DEMAND WATER HEATING WITH MINIMUM EF OF .80  
AND A MINIMUM 75% OF PERMANENTLY INSTALLED LIGHTING FIXTURES AS CFL OR LINEAR FLUORESCENT  
OR A MIN. EFFICACY OF 40 LUMENS PER WATT AS SPECIFIED IN SECTION N1107.2C

GENERAL NOTES

- GENERAL:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES.
  2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE DESIGNER/ENGINEER HARMLESS FOR INJURY OR DEATH TO PERSONS OR FOR DAMAGE TO PROPERTY CAUSED BY NEGLIGENCE OF THE CONTRACTOR, HIS AGENTS, EMPLOYEES OR SUBCONTRACTORS.
  3. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ADJACENT WORK AND SHALL REPAIR SAID DAMAGE AT HIS OWN EXPENSE. CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS.
  - 4.CODES: ALL WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES. IN CASE OF CONFLICT WHERE METHODS OR STANDARDS OF INSTALLATION OF THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN. NOTIFY THE DESIGNER OF ALL CONFLICTS.

- DIMENSIONS:
- 1.ALL INFORMATION SHOWN ON THE DRAWINGS, RELATIVE TO THE EXISTING CONDITIONS ARE GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY, THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR CONDITION ADVERSELY AFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE WORK.
  2. EXTERIOR DIMENSIONS OF PLANS ARE TO BUILDING GRIDLINES OR FACE OF FRAMING UNLESS NOTED OTHERWISE.
  3. INTERIOR DIMENSIONS OF PLANS ARE TO GRIDLINES OR FACE OF FRAMING UNLESS NOTED OTHERWISE.
  4. DO NOT SCALE DRAWINGS: THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE PLANS AND ACTUAL FIELD MEASUREMENTS. NOTIFY THE DESIGNER IF DISCREPANCIES ARE FOUND.
  5. COORDINATION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND COORDINATION OF THE WORK OF ALL TRADES TO ASSURE COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS.

- FIRE PROTECTION:
1. PROVIDE FIRE PROTECTION AT ALL PENETRATIONS OF FIRE RATED ELEMENTS AS REQUIRED BY THE CODE.

- CONSTRUCTION:
1. CONTRACTOR SHALL INVESTIGATE AND VERIFY LOCATIONS OF STRUCTURAL, MECHANICAL AND ELECTRICAL ELEMENTS AND OTHER EXISTING CONDITIONS PRIOR TO BEGINNING THE WORK.
  2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WALL BLOCKING FOR ALL WALL AND CEILING MOUNTED ITEMS.
  3. THERE SHALL BE NO EXPOSED PIPES, CONDUITS, DUCTS, VENTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED AND FINISHED, UNLESS NOTED AS EXPOSED ON THE CONSTRUCTION DRAWINGS.
  4. PROVIDE GALVANIC ISOLATION BETWEEN DISSIMILAR METALS.
  5. GENERAL CONTRACTOR IS TO COORDINATE WITH ELECTRICAL AND PLUMBING CONTRACTORS FOR ALL REQUIRED ROUGH-INS AND TRENCHING REQUIRED FOR ELECTRICAL AND PLUMBING RUNS.
  6. PROVIDE PRESSURE TREATED WOOD AT ALL LOCATIONS WHERE WOOD IS TO BE EXPOSED TO THE EXTERIOR OR WHERE WOOD COMES INTO CONTACT WITH CONCRETE OR SOIL.





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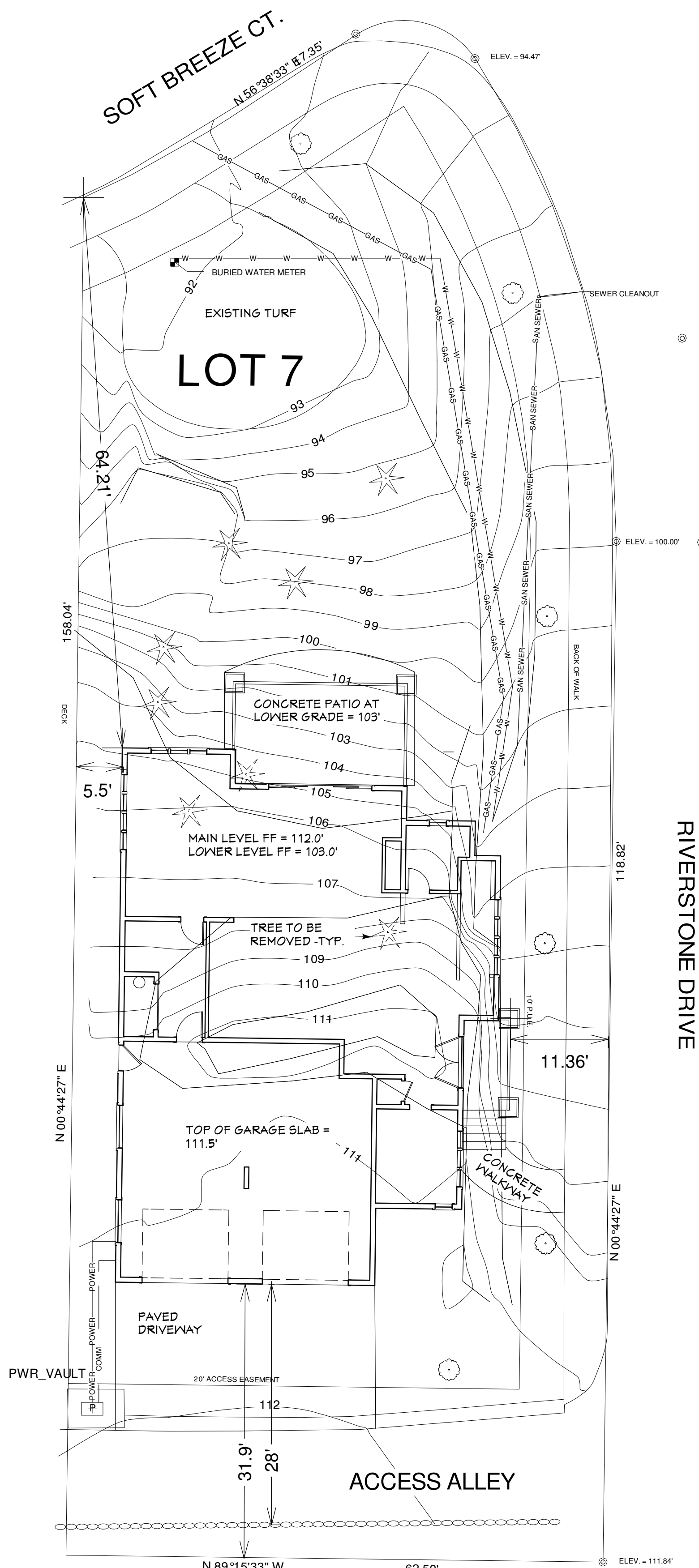
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1/4"=1' UNO

SHEET:  
A-2



SITE PLAN 1"=10'

- LEGEND
- PROPERTY LINE
  - WATER METER
  - CABLE TV RISER
  - TELEPHONE RISER
  - POWER VAULT
  - FOUND 3/8" REBAR W/YELLOW PLASTIC CAP MARKED "W&H PACIFIC"
  - PONDEROSA PINE
  - PONDEROSA PINE TO BE REMOVED
  - EXISTING DECIDUOUS TREE

NOTE: THIS IS NOT A BOUNDARY SURVEY, BEARINGS AND DISTANCES ARE PER RECORD DATA AND ELEVATIONS ARE ASSUMED.

SITE NOTES

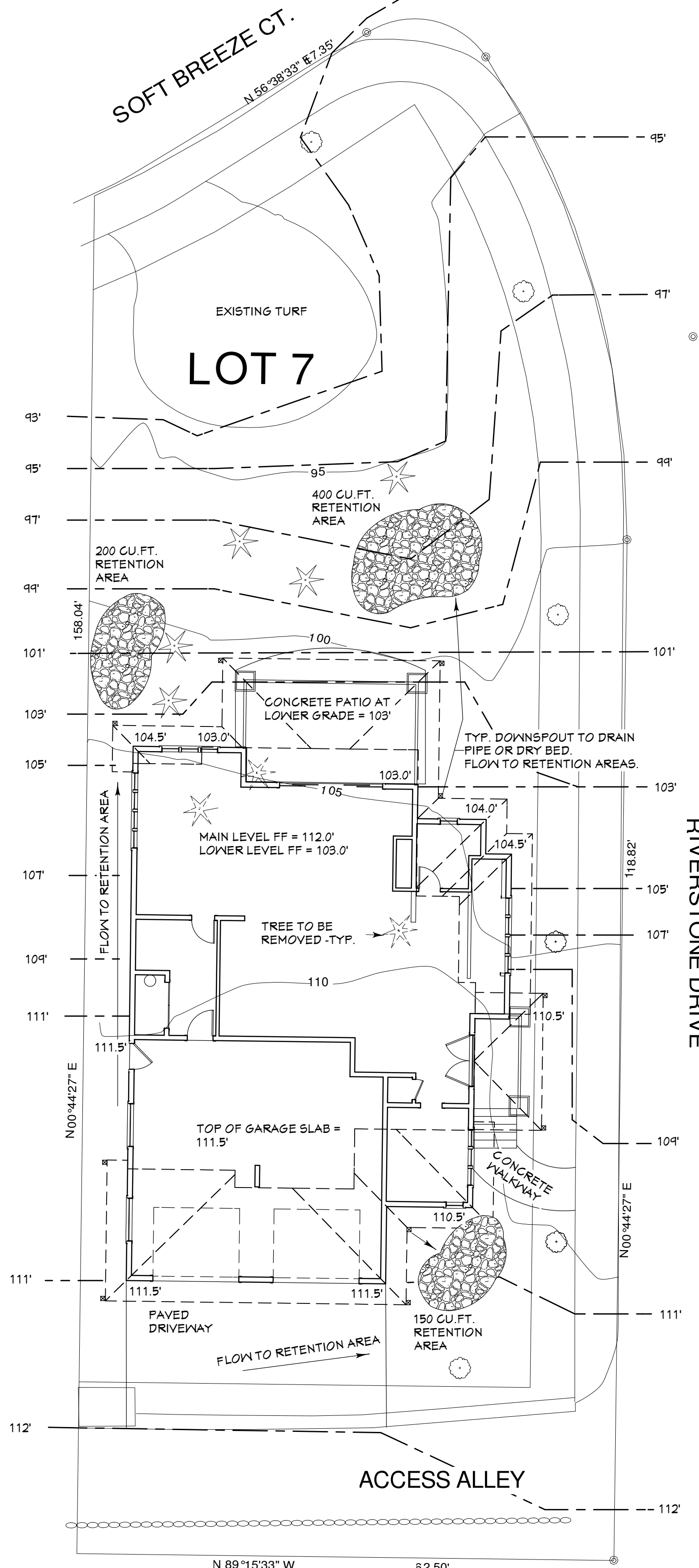
SITE INFORMATION PROVIDED BY GH SURVEYING OF BEND OREGON ALL SITE CONDITIONS TO BE VERIFIED PRIOR TO CONSTRUCTION

ALL SETBACKS, EASEMENTS AND CC&R REQUIREMENTS TO BE VERIFIED PRIOR TO CONSTRUCTION

FINAL SITING OF THE DWELLING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR

ALL HARDSCAPE DRAINAGE TO BE DIRECTED TO LANDSCAPE DRAINAGE CONTAINMENT OR CITY DRYWELL WHERE APPLICABLE

CONFIRM ALL UTILITIES AND TRENCH LOCATIONS WITH CONTRACTOR PRIOR TO CONSTRUCTION



GRADING PLAN 1"=10'

- LEGEND
- EXISTING ELEVATION CONTOUR
  - FINAL ELEVATION CONTOUR
  - PONDEROSA PINE
  - PONDEROSA PINE TO BE REMOVED
  - EXISTING DECIDUOUS TREE

BUILDING LOT COVERAGE AND CALCULATIONS:

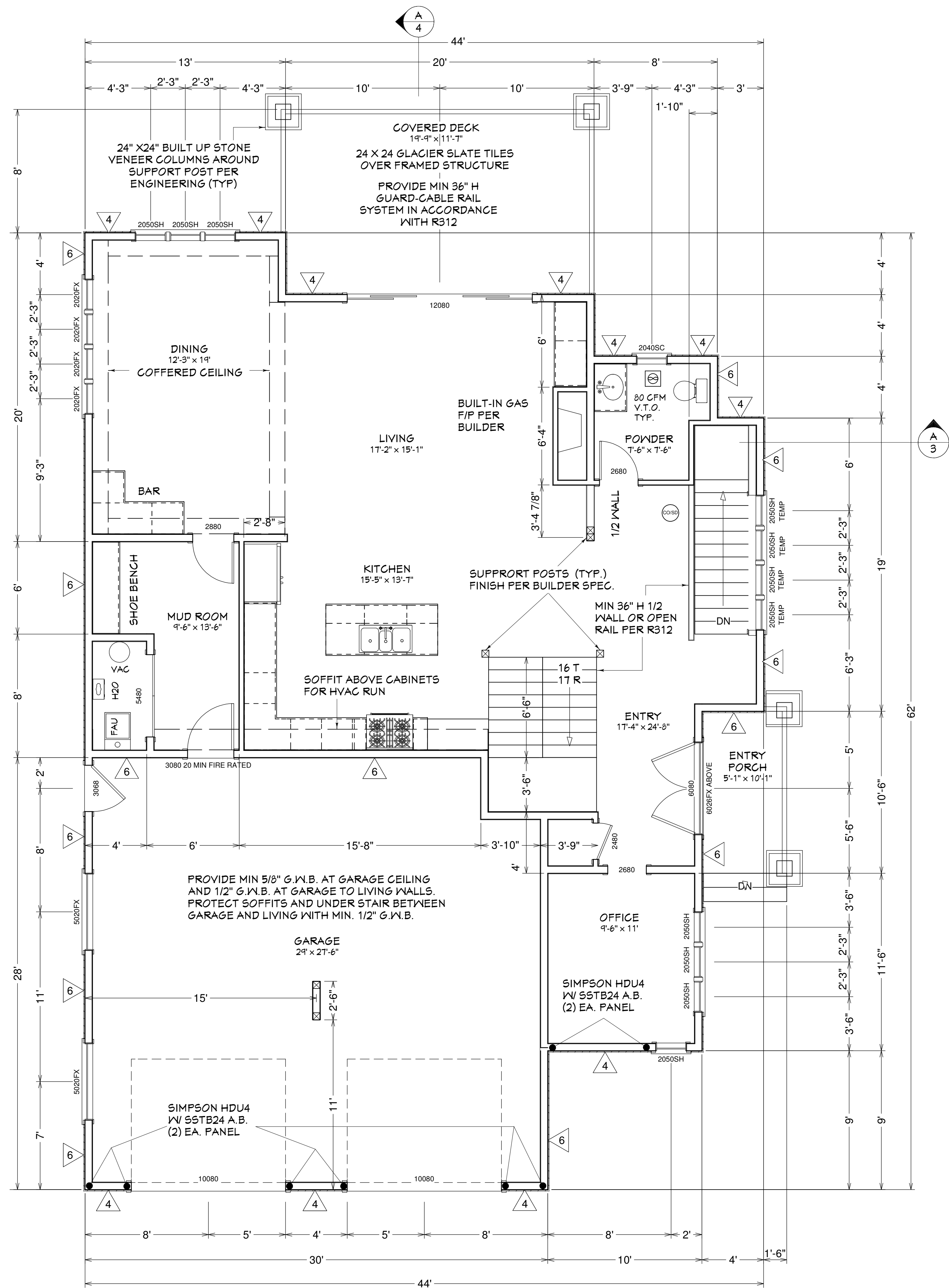
LOT AREA= 10421 SQ. FT.  
PROPOSED BUILDING COVERAGE = 2661 SQ. FT. (25.53%)

IMPERVIOUS AREA:

DRIVEWAY= 370 SQ. FT.  
WALKWAYS AND PATIOS= 50 SQ. FT.  
ROOF AREA= 2895 SQ. FT.

TOTAL= 3315 SQ. FT.  
X .20 = 663 CU. FT. DRAINAGE RETENTION REQUIRED  
750 CU. FT. DRAINAGE RETENTION PROVIDED  
(SEE GRADING PLAN FOR LOCATION AND SIZING)









BUILDING SECTION A-3

ALL FRAMING AND FASTENING SHALL COMPLY TO THE MOST CURRENT LOCAL BUILDING CODES.





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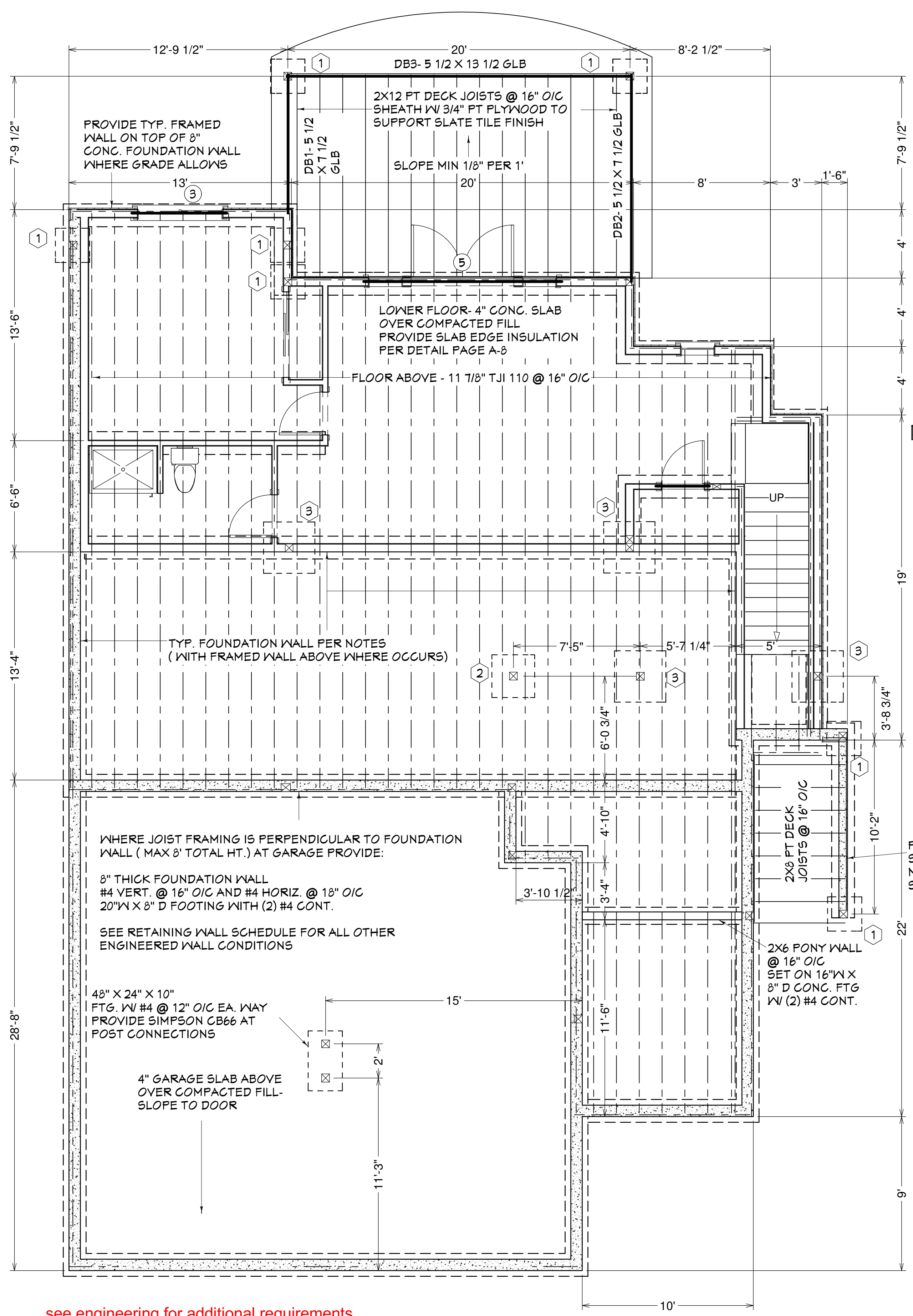
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SCALE:  
1/4"=1' UNO

SHEET:  
A-5

HEADER SCHEDULE	
③	(2) 2X10 OR 4X10
④	(2) 2X12 OR 4X12
⑤	(3) 2X10

NOTE:  
ALL BEARING WALL HEADERS  
NOT REFERENCED HERE OR  
SPECIFIED ON THE PLANS TO  
BE MIN (2) 2X8 OR 4X8 DF



see engineering for additional requirements

FOUNDATION AND LOWER FLOOR FRAMING PLAN

FOUNDATION FOOTING SCHEDULE		
MARK	SIZE	REINFORCEMENT
①	24" X 24" X 10" THICK PAD	(2) #4 EA. WAY
②	30" X 30" X 10" THICK PAD	(3) #4 EA. WAY
③	36" X 36" X 10" THICK PAD	(3) #4 EA. WAY

FOUNDATION NOTES

ANCHOR BOLTS TO BE SPACED AT 48" O.C. MAX U.N.O ON SHEAR WALL PLAN.

ENGINEERED RETAINING WALLS MAY BE REQUIRED @ ALL LOCATIONS WHERE THE DISTANCE FROM FOOTING TO THE TOP OF THE MATERIAL BEING RETAINED IS EQUAL TO OR GREATER THAN 4' OR IF THERE IS A SURCHARGE ON THE WALL. (I.E.- SLOPING HILL, DRIVEWAY OR GARAGE SLAB ABOVE)

CONTRACTOR TO VERIFY PLAN TO ACTUAL SITE CONDITIONS AND CONTACT ENGINEER IF RETAINING WALLS ARE REQUIRED.

STEP FOOTING AND STEINWALL AS REQUIRED BY GRADE.

PROVIDE CLOSEABLE FOUNDATION VENTS ( 1 PER 150 SQ' )

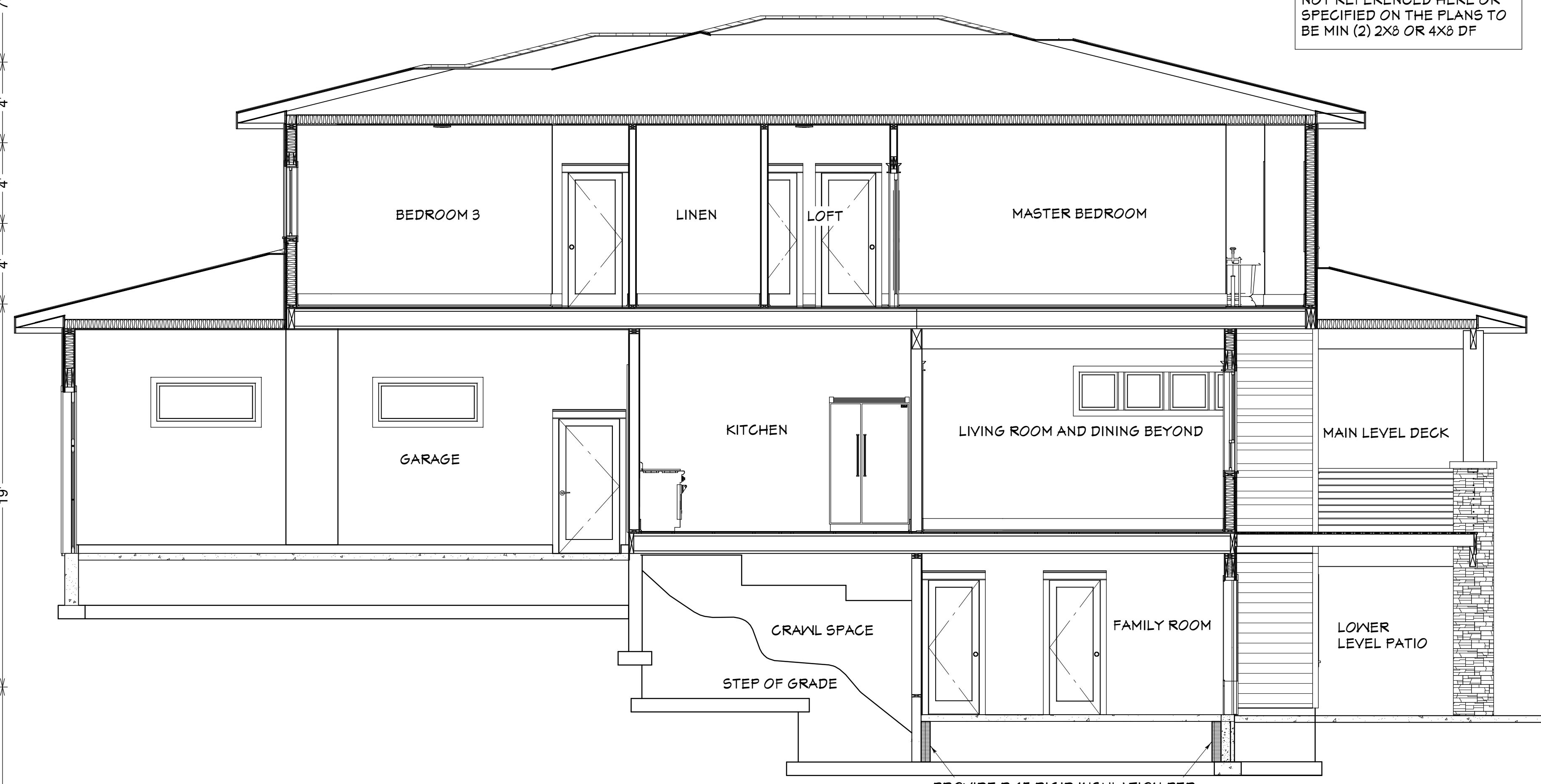
PROVIDE 6 MIL VAPOR BARRIER @ CRAWL SPACE.

TYP FOUNDATION WALL AT 1 STORY CONSTRUCTION TO BE 24"H X 6" CONC. WALL WITH (2) #4 BAR HORIZ. CONT. AND (1) #4 BAR VERT @ 48" O/C.

TYP FOUNDATION WALL AT 2 STORY CONSTRUCTION TO BE 24"H X 8" CONC. WALL WITH (2) #4 BAR HORIZ. CONT. AND (1) #4 BAR VERT @ 48" O/C.

TYP STRIP FOOTING AT 1 STORY FOUNDATION WALL TO BE 12"W X 6"D CONC FOOTING WITH (2) #4 BAR CONT.

TYP STRIP FOOTING AT 2 STORY FOUNDATION WALL TO BE 16"W X 8"D CONC FOOTING WITH (2) #4 BAR CONT.



BUILDING SECTION A-4





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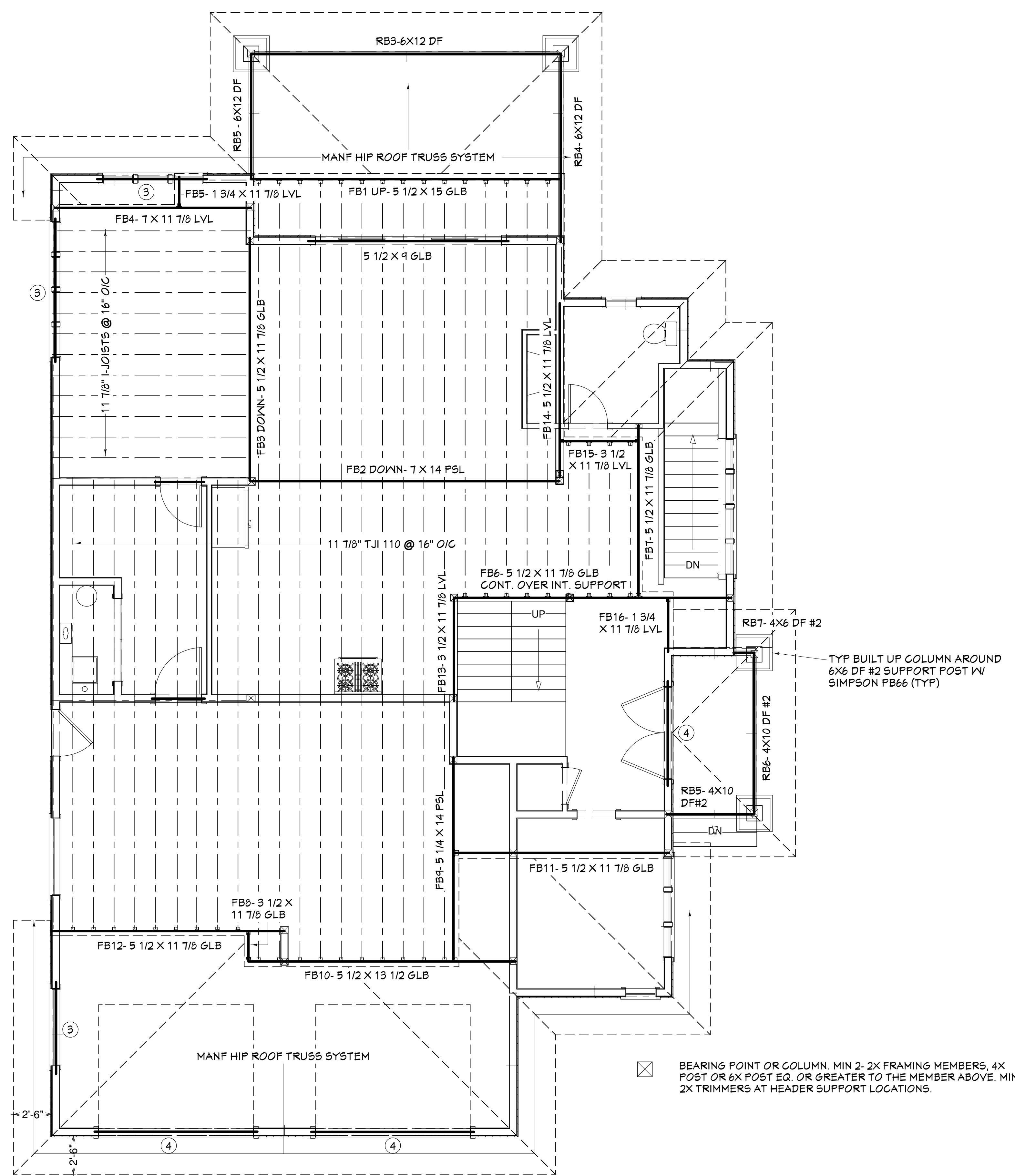
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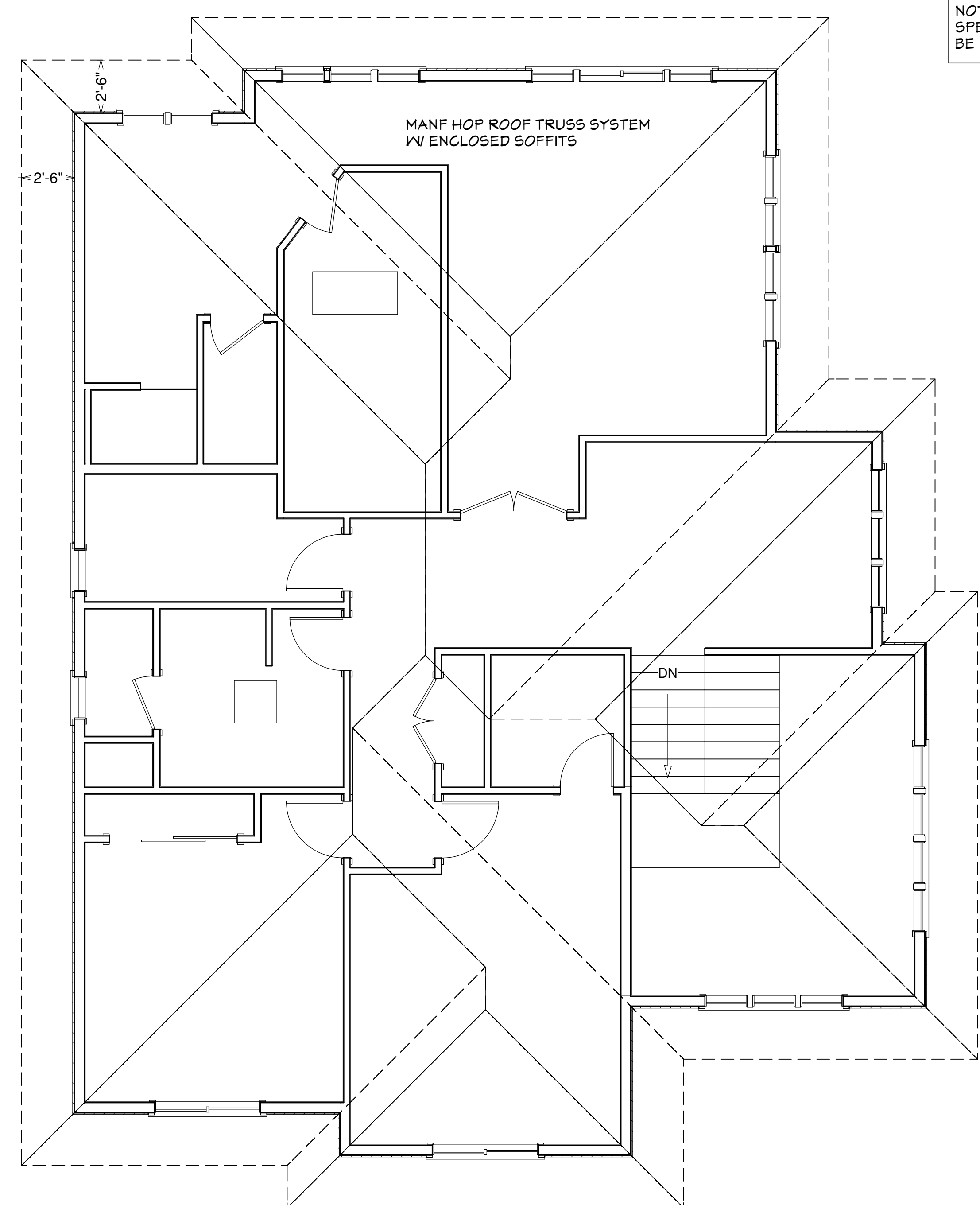
A-6

HEADER SCHEDULE	
③	(2) 2X10 OR 4X10
④	(2) 2X12 OR 4X12
⑤	(3) 2X10

NOTE:  
ALL BEARING WALL HEADERS  
NOT REFERENCED HERE OR  
SPECIFIED ON THE PLANS TO  
BE MIN (2) 2X8 OR 4X8 DF

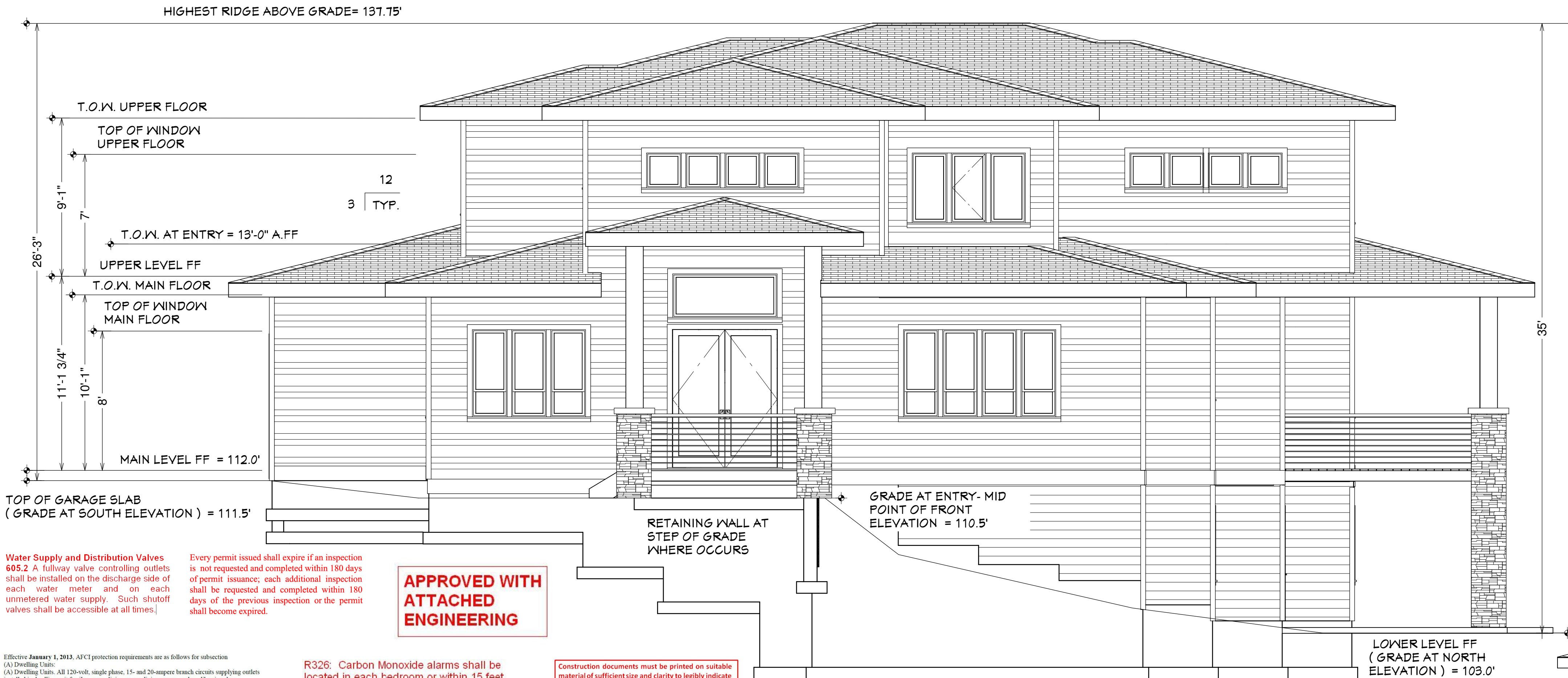


LOWER ROOF AND UPPER  
FLOOR FRAMING PLAN



UPPER ROOF PLAN





**EXTERIOR FINISH NOTES**

ROOFING - IKO CAMBRIDGE- HARVARD SLATE

FASCIA - 2 X10 PRIMED TRIM

SIDING UPPER LEVELS - 8 1/4" HARDI-LAP W/ T" EXPOSURE (ONE COURSE)

5 1/4" HARDI-LAP W/ 4" EXPOSURE (TWO COURSE)

SIDING LOWER LEVEL- 8 1/4" HARDI-LAP W/ T" EXPOSURE (ALTERNATE PAINT COLOR FROM ABOVE)

WINDOWS- VINYL

CORNER TRIM - 5/4 X 4 PRIMED TRIM

WATER TABLE TRIM - 2X10 PRIMED TRIM

WINDOW TRIM - 5/4 X 4 SIDE TRIM

2X3 SLOPED SILL

5/4 X 4 APRON

5/4 X 4 HEAD

STONE VENEER - CULTURED STONE ALPINE LEDGESTONE - BLACK MT.

BUILT-UP COLUMNS- CULTURED STONE AROUND FRAMED COLUMN

DECKING- 24" X 24" GLACIER SLATE TILES OVER FRAMED STRUCTURE

PROVIDE GUARD RAIL PER R312.( CABLE RAIL PER BULDER )

NOTE:  
PROVIDE WINDOW FLASHING AND DRAIN-WRAP PER DETAILS.

**EXTERIOR ELEVATION NOTES**

AVERAGE ELEVATIONS FROM GRADE TO TOP OF RIDGE:

FRONT ELEVATION:  
SOUTH END = 26.25'  
MIDPOINT = 27.25'  
NORTH END = 35.0'

TOTAL WALL = 88.5'

REAR ELEVATION:  
SOUTH END = 26.25'  
MIDPOINT = 26.25'  
NORTH END = 35.0'

TOTAL WALL = 87.5'

RIGHT ELEVATION TOTAL WALL:  
35.0' X 3 = 105'

LEFT ELEVATION TOTAL WALL:  
26.25' X 3 = 78.75'

WALL TOTALS:  
88.5' + 87.5' + 105' + 78.75' = 359.75'

359.75' / 12 = 29.97' AVG. BLDG. HT.

**Water Supply and Distribution Valves**  
605.2 A. fullway valve controlling outlets shall be installed on the discharge side of each water meter and on each unmetered water supply. Such shutoff valves shall be accessible at all times.

Every permit issued shall expire if an inspection is not requested and completed within 180 days of permit issuance; each additional inspection shall be requested and completed within 180 days of the previous inspection or the permit shall become expired.

**APPROVED WITH  
ATTACHED  
ENGINEERING**

Effective January 1, 2013, AFCI protection requirements are as follows for subsection (A) Dwelling Units. All 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, patios, porches, decks, bedrooms, sunrooms, recreation rooms, closets, attics, or similar rooms or areas shall be protected by a listed arc-fault circuit interrupter, combination-type, installed to provide protection of the branch circuit.

Exception No. 4: AFCI protection shall not be required on GFCI protected receptacles installed in dining rooms.

Exception No. 5: It shall be permissible to install one or more branch circuits that each supply one or more outlets labeled as "not AFCI protected" serving a single system in a single room of a dwelling unit without AFCI protection. These outlets are optional and do not meet the general purpose receptacle spacing requirements of 210.52.

**Informational Note:**  
The State recognizes the arc-fault circuit interrupter as a safety device that generally improves consumer protection. However, because the AFCI technology is still maturing, reliability and affordability of electrical installations should be considered. Therefore, the State intends to encourage the expanded use of AFCIs while allowing for some exceptions to its use.

**R326:** Carbon Monoxide alarms shall be located in each bedroom or within 15 feet outside of each bedroom door. Bedrooms on separate floor levels in a structure consisting of two or more stories shall have separate carbon monoxide alarms serving each story.

Construction documents must be printed on suitable material of sufficient size and clarity to legibly indicate the location, nature, and extent of work. Generally, this requires printing on media equal to the size originally submitted, but in no case less than 11" x 17". Illegible plans will not be accepted for inspections.

**R312.3** Opening limitations. Required guards shall not have openings from the leading surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.

Exceptions:

1. This is angular openings at the open side of a stair, formed by the floor, used and bottom rail and all guards, shall not allow passage of a sphere 6 inches (153 mm) in diameter.

2. Guards on the open sides of stairs shall not have openings which allow passage of a sphere 6 inches (153 mm) in diameter. Opening limitations for required guards on open sides of stairs are applicable above the second rise of the stair.

**R311.3** Floors and landings at exterior doors. There shall be a landing or floor on each side of each exterior door. The width of each landing shall not be less than the door served. Every landing shall have a minimum dimension of 36 inches (914 mm) measured in the direction of travel. Exterior landings shall be permitted to have a slope not to exceed 1/4 unit vertical in 12 units horizontal (2 percent). The exterior landing or floor shall not be more than 8 inches (203 mm) below the top of the threshold provided the door does not swing over the landing or floor.

FRONT ELEVATION 1/4" = 1'

For SE: 1 inch = 25.4 mm.

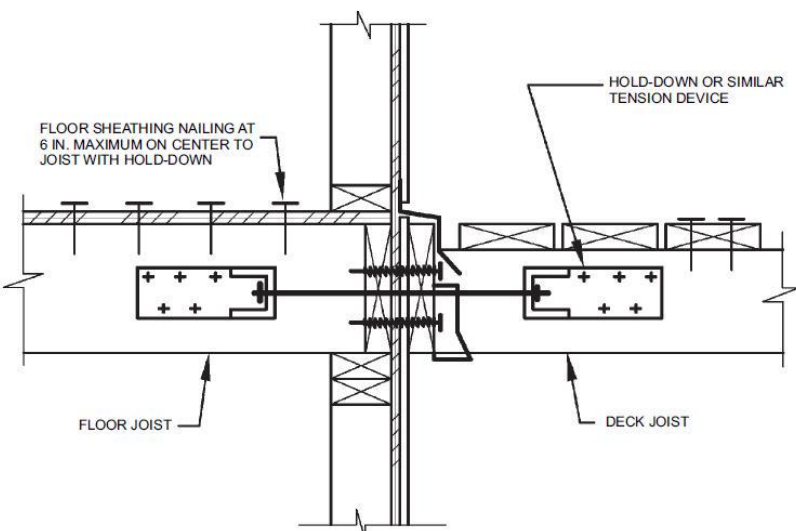


FIGURE R502.2.2.3  
DECK ATTACHMENT FOR LATERAL LOADS



RIGHT ELEVATION 3/16" = 1'

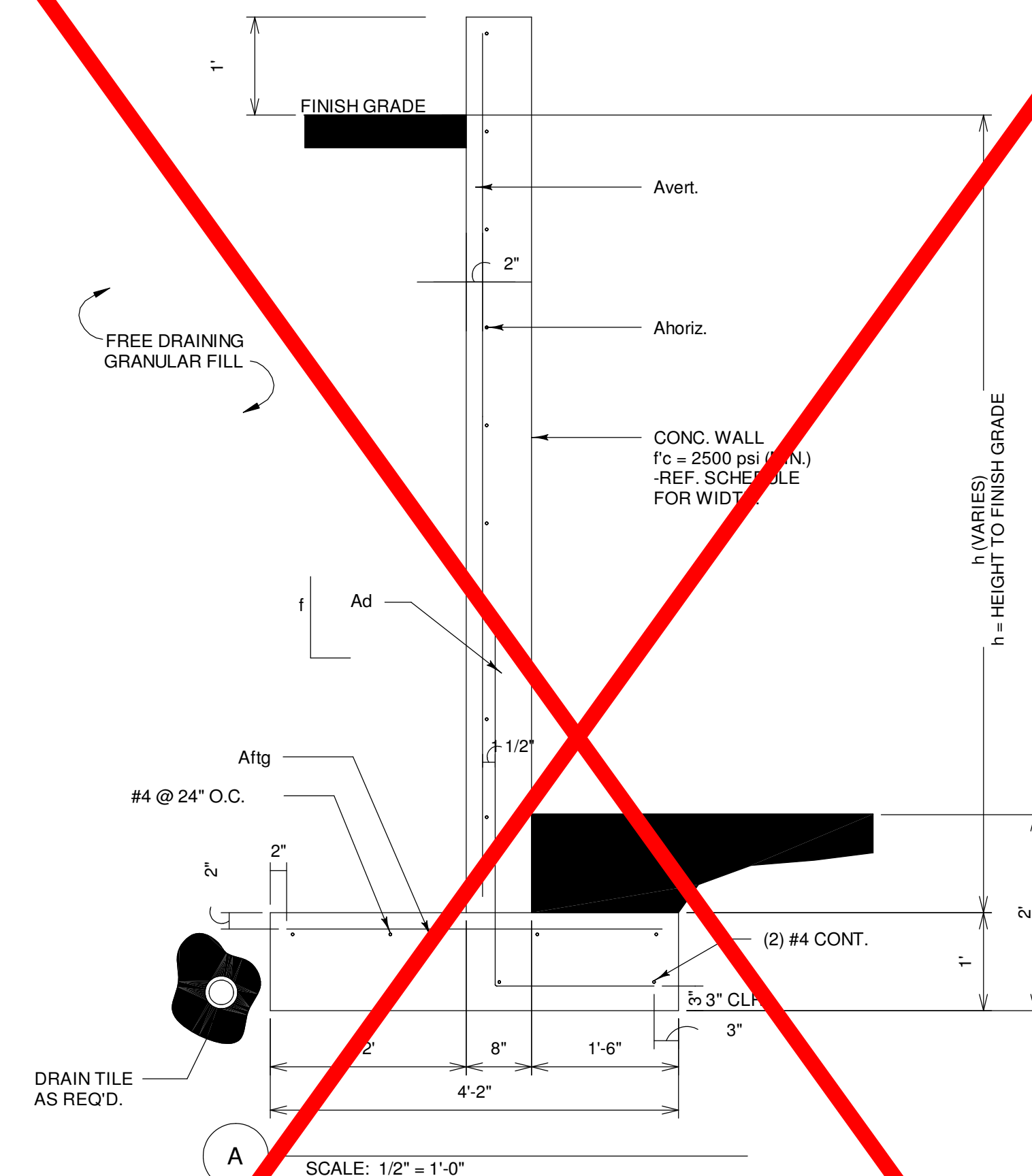
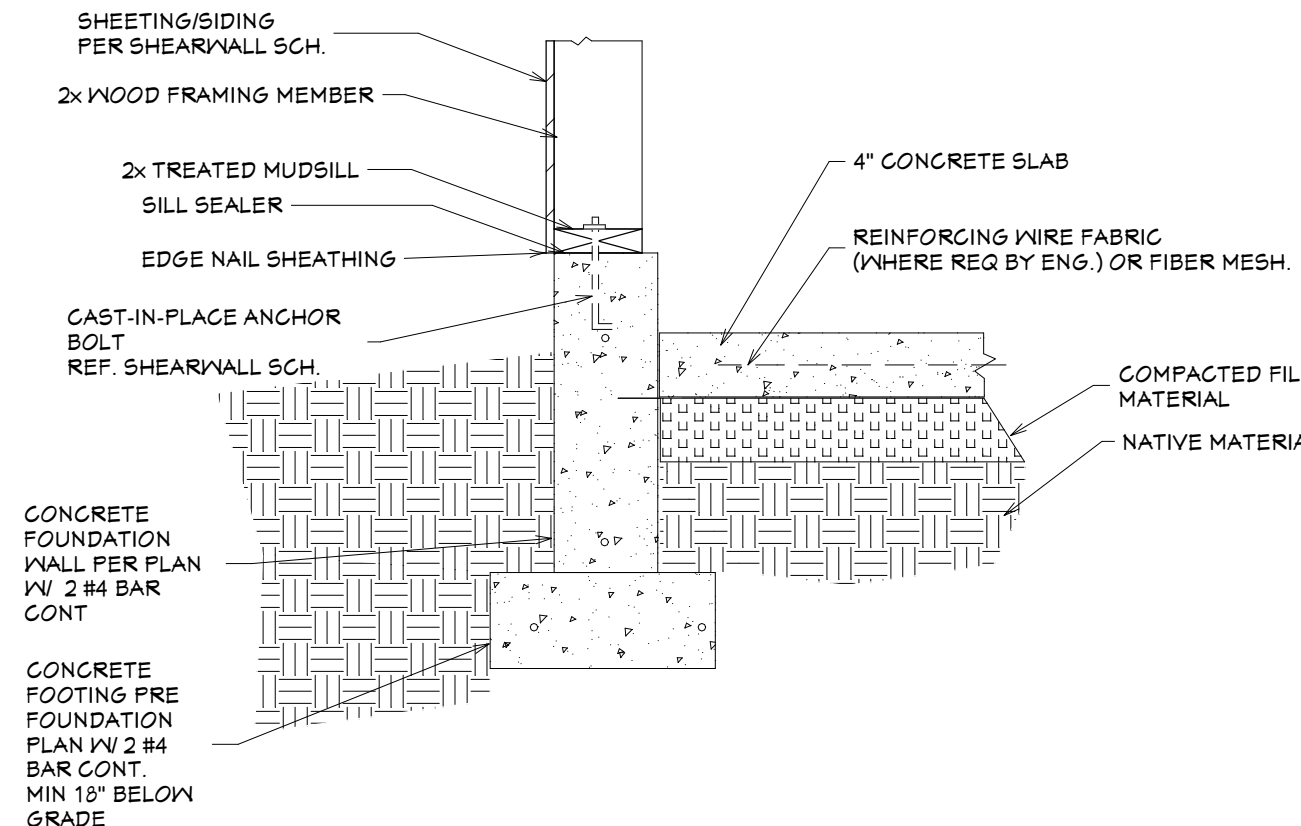
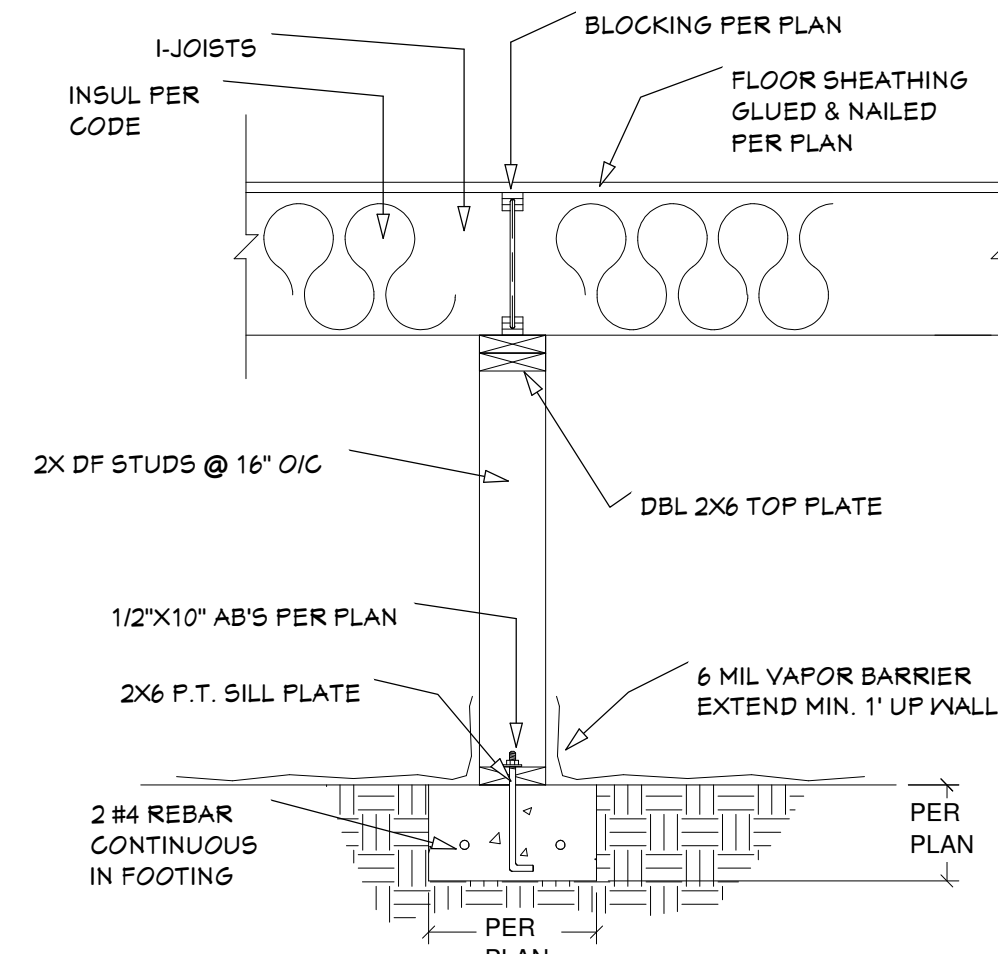
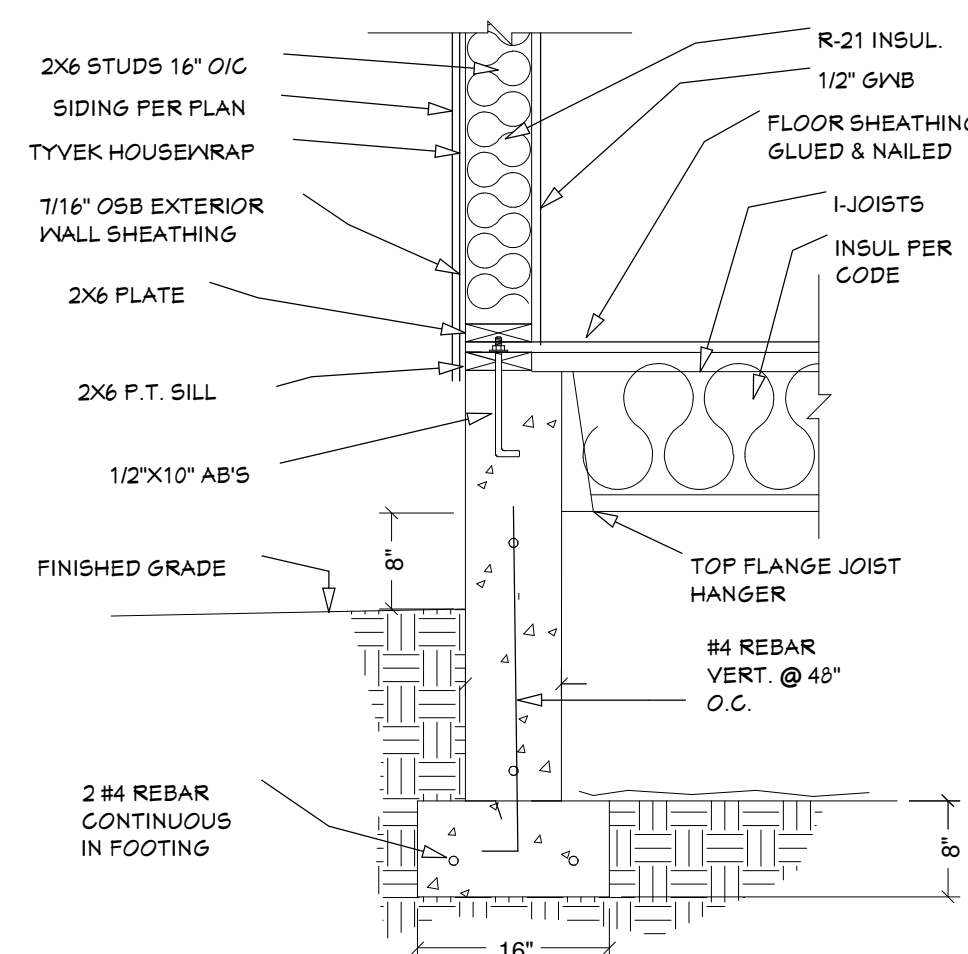
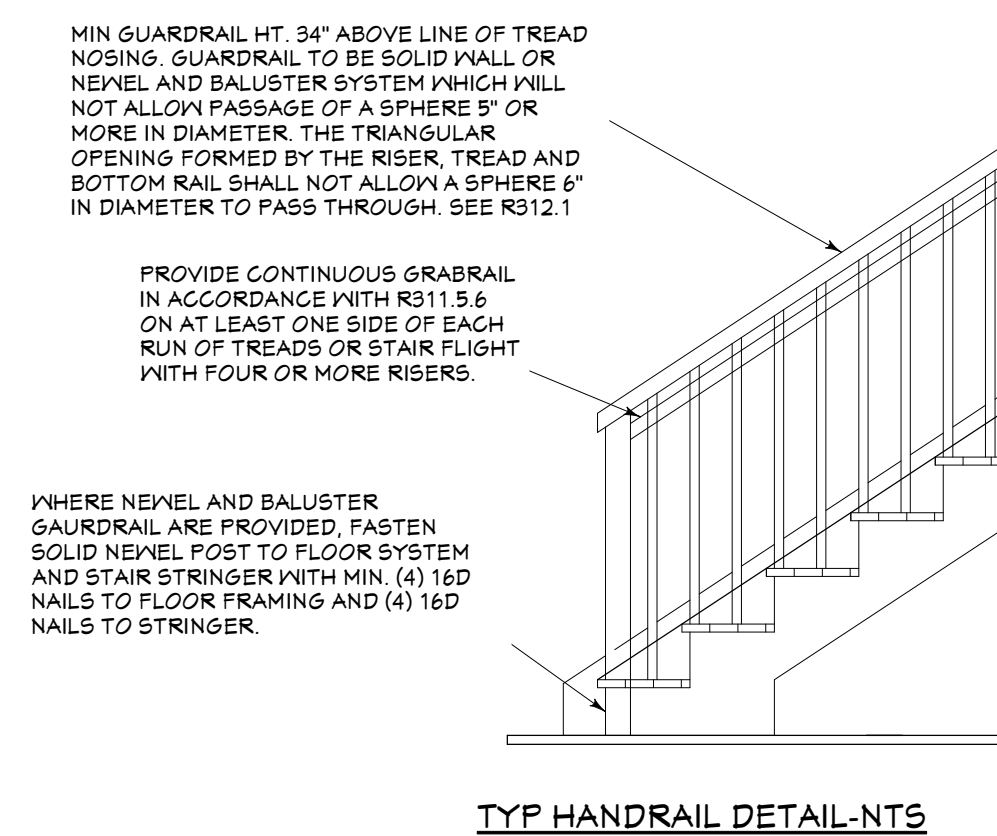
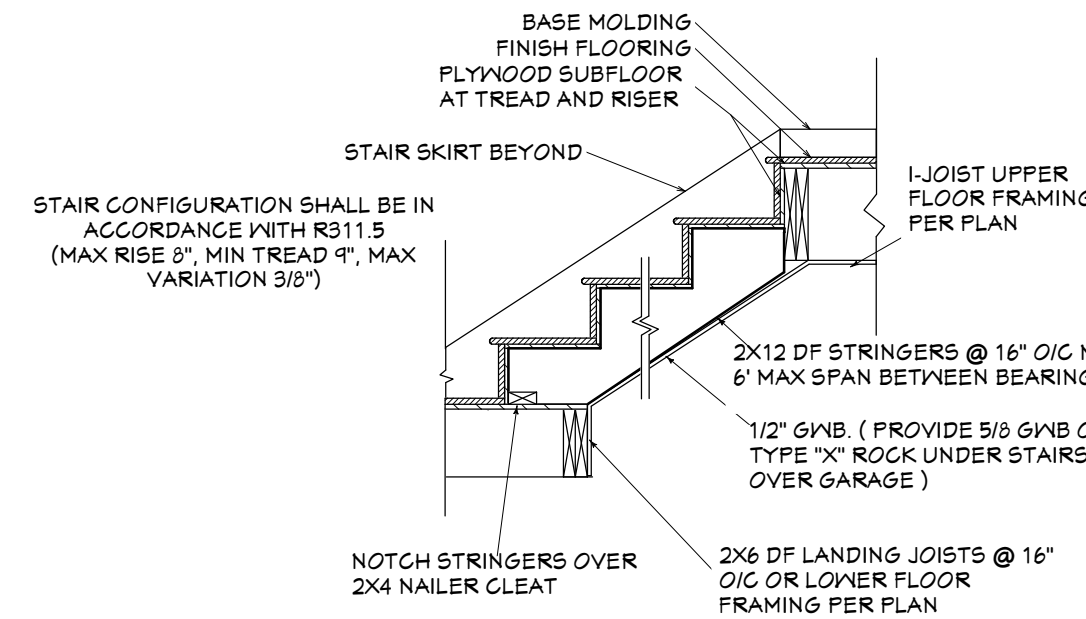
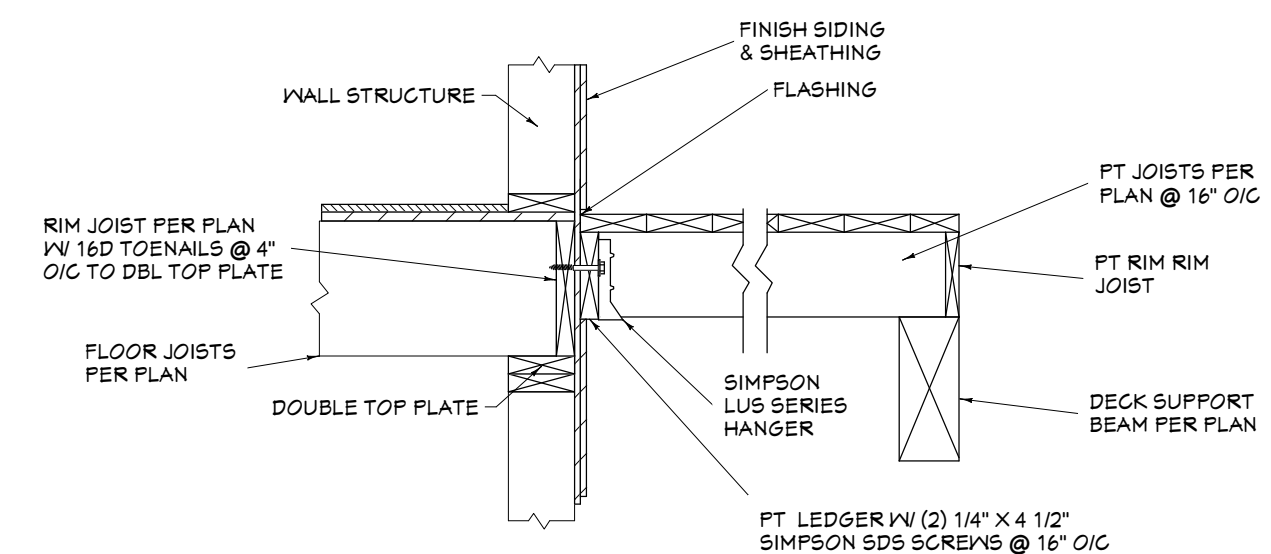
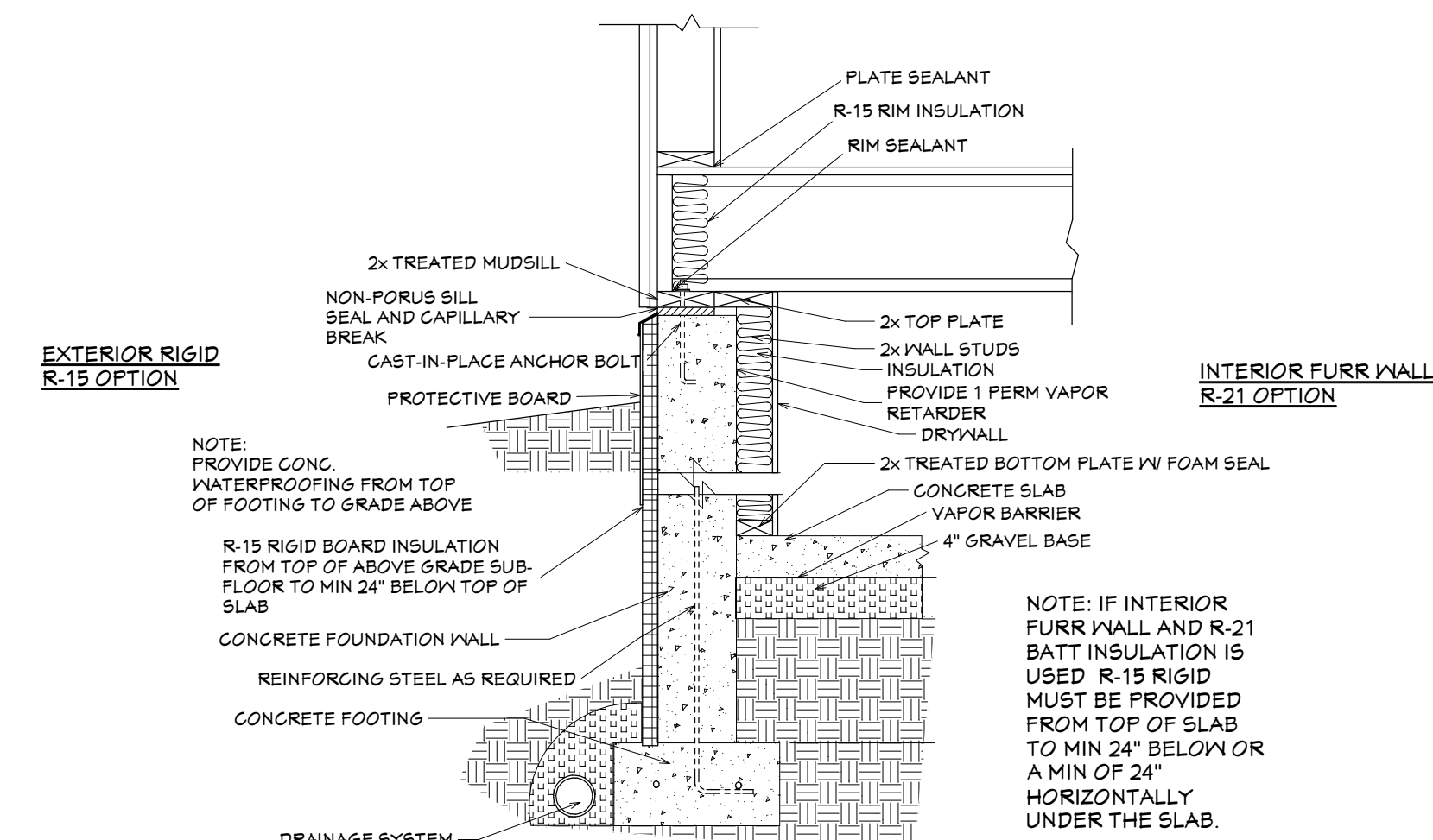
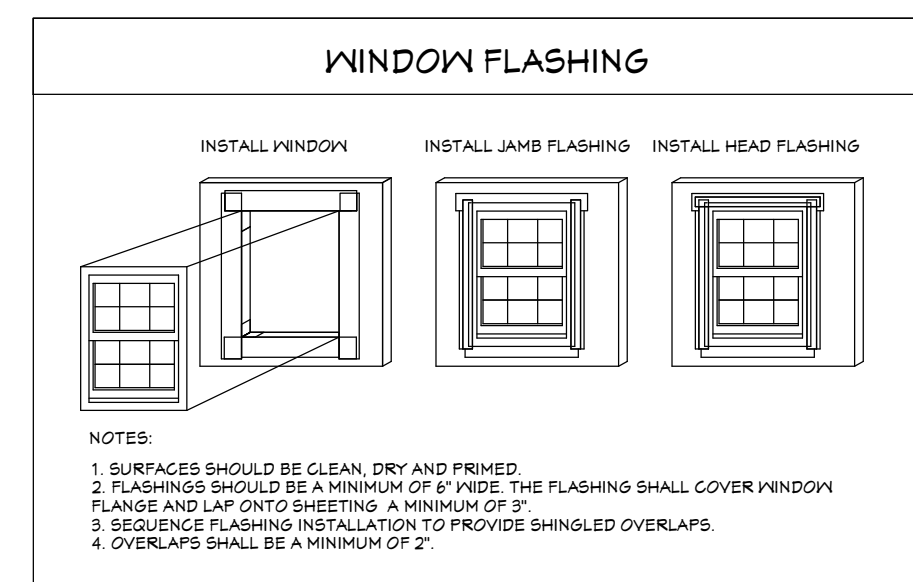
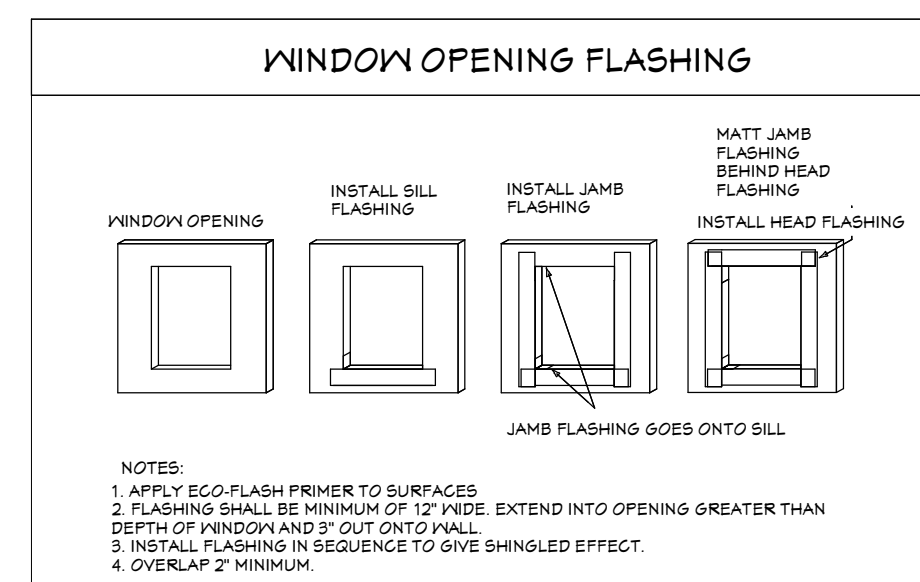
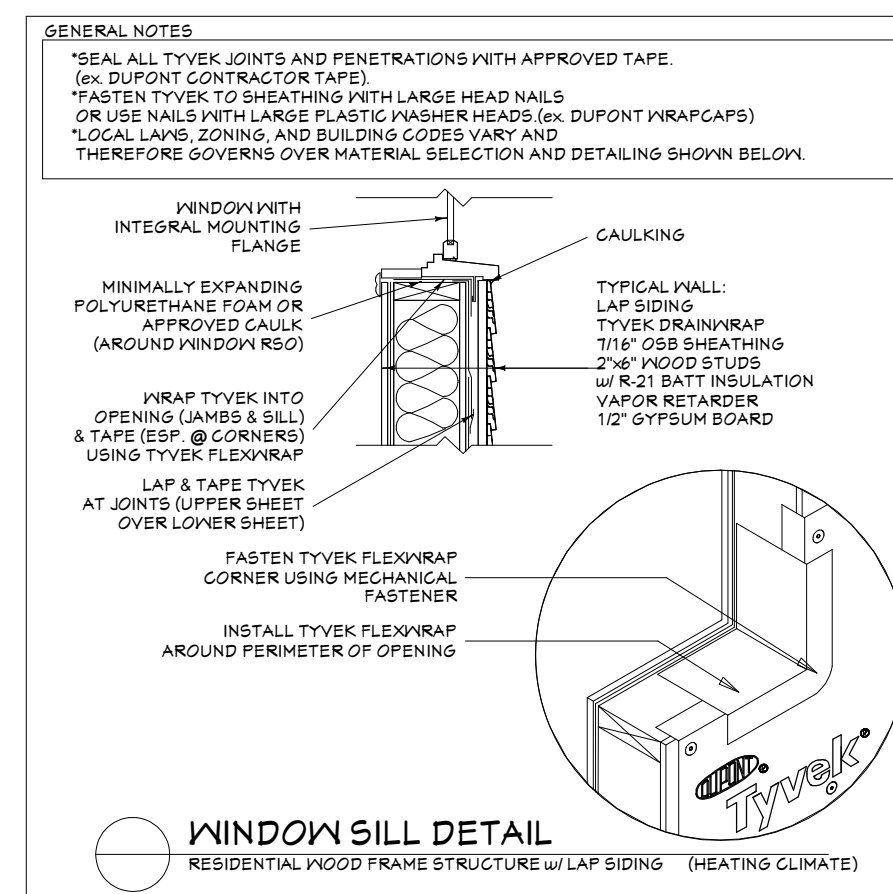


REAR ELEVATION 3/16" = 1'



LEFT ELEVATION 3/16" = 1'





RETAINING WALL SCHEDULE											
h	a	b	c	e	f	t	Avert.	Ahoriz.	Aftg.	Ad	Clr.
4'-0"	10"	8"	8"	2'-2"	n/a	10"	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	4"
5'-0"	12"		12"	2'-8"	n/a	10"	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	4"
6'-0"	15"	10"	15"	3'-4"	n/a	12"	#4 @ 18" O.C.	#4 @ 24" O.C.	#4 @ 18" O.C.	#4 @ 24" O.C.	2"
7'-0"	15"	10"	15"	3'-4"	n/a	12"	#4 @ 12" O.C.	#4 @ 18" O.C.	#4 @ 12" O.C.	#4 @ 18" O.C.	2"
8'-0"	15"	10"	18"	3'-7"	n/a	16"	#5 @ 18" O.C.	#4 @ 18" O.C.	#5 @ 12" O.C.	#4 @ 12" O.C.	2"

