

MINIMUM STRUCTURAL DESIGN LOADS
DESIGN LOADS:
SNOW - 25 LBS. + DRIFT
WIND - 100 MPH
SEISMIC DESIGN CATEGORY C
FROST DEPTH - 18 INCHES
EXPOSURE - B OR C DEPENDING ON AREA
MINIMUM UNIFORM LIVE LOADS
BALCONIES - 60 LBS. SQ.FT.
DECKS - 40 LBS. SQ.FT.
FIRE ESCAPES - 40 LBS. SQ.FT.
GARAGES - 50 LBS. SQ.FT.
ATTICS ( NO STORAGE ) - 10 LBS. SQ.FT.
ATTICS ( LIMITED STORAGE ) - 20 LBS. SQ.FT.
ATTICS ( SERVED W/ FIXED STAIRS ) - 30 LBS. SQ.FT.
DWELLINGS - 40 LBS. SQ.FT.
STAIRS - 40 LBS. SQ.FT.
GUARDRAILS & HANDRAILS 200 LBS. SQ.FT.

ADDITIONAL ENERGY MEASURES PROVIDED.

RESIDENTIAL ENERGY ENVELOPE ENHANCEMENT MEASURE 3:

INSULATION :

FLOORS-

UNDERFLOOR- R30

SLAB EDGE PERIMETER- R15

HEATED SLAB, INTERIOR- R10

FLOOR ASSEMBLY OVER UNCONDITIONED SPACE- R30

WALLS-

ABOVE GRADE- R21

BELOW GRADE- R19 FOR FRAMED ASSEMBLIES OR R15 CONTINUOUS

CEILING-

FLAT- R49 WITH MIN R21 AT EDGE

SCISSOR TRUSS VAULT- R30

RAFTER VAULT- R30

WINDOWS- U0.30, AND PERFORMANCE TESTED DUCT SYSTEM

CONSERVATION MEASURE OPTION A- HIGH EFFICIENCY HVAC SYSTEM

GAS FIRED FURNACE OR BOILER WITH MINIMUM AFUE OF 90%

OR AIR-SOURCE HEAT PUMP WITH MINIMUM HSPF OF 8.5

OR CLOSED LOOP GROUND SOURCE HEAT PUMP WITH MINIMUM COP OR 3.0

GLAZING NOTE:

ALL GLAZING SHALL CONFORM TO ADDITIONAL ENERGY MEASURES SPECIFIED IN ATTACHED ENERGY CHECKLIST

INSULATION NOTE:

ALL INSULATION SHALL CONFORM TO ADDITIONAL ENERGY MEASURES SPECIFIED IN ATTACHED ENERGY CHECKLIST

## PROJECT INFO

BUILDER:  
SIENNA BUILDING  
541-241-0406

DESIGNER:  
ROB LITTLETON INC.  
541-280-1120

ENGINEER:  
ECLIPSE ENGINEERING  
541-389-9659

BLDG PERMIT#: \_\_\_\_\_

BUILDING AREA:	FLOOR 1:	2192 SQ. FT.
	FLOOR 2:	998 SQ. FT.
	TOTAL LIVING:	3190 SQ. FT.
	GARAGE:	865 SQ.FT

ROB LITTLETON INC. DOES NOT REPRESENT ITSELF AS AN ARCHITECT, ENGINEER OR SURVEYOR. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/ BUILDER TO OBTAIN ALL BUILDING PERMITS AND TO VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS AND SITE CONDITIONS WITH THEIR CONTRACTOR, ENGINEER AND/ OR SURVEYOR PRIOR TO CONSTRUCTION.



RESERVED FOR BUILDING DEPARTMENT STAMP

REVISION TABLE	
NUMBER	DATE
1	4/16/2015
DESCRIPTION	
ROB LITTLETON INC PRELIM	

PROJECT LOCATION:  
LOT 114  
ANBREY PARK, PHASE 3

PROJECT FOR:  
SIENNA BUILDING  
541-241-0406

RESIDENTIAL CONSTRUCTION  
AND DESIGN

541-280-1120 PH      FO BOX 1167  
541-510-1744 FAX      BEND OR 97708  
CGB# 165287

ROB LITTLETON INC.

DATE:

4/16/2015

SCALE:

1/4"=1' U.N.O.

SHEET TITLE:

COVER PAGE

SHEET:

A0.01

LAYOUT PAGE TABLE		
NUMBER	LABEL	TITLE
1	A0.01	COVER SHEET
2	A0.02	PLAN NOTES
3	A1.01	SITE PLAN
4	A1.02	MAIN FLOOR PLAN
5	A1.03	UPPER FLOOR PLAN & SECTION
9	A2.01	EXTERIOR ELEVATIONS
10	A2.02	EXTERIOR ELEVATIONS



GENERAL NOTES

GENERAL:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES.  
2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE DESIGNER/ENGINEER HARMLESS FOR INJURY OR DEATH TO PERSONS OR FOR DAMAGE TO PROPERTY CAUSED BY NEGLIGENCE OF THE CONTRACTOR, HIS AGENTS, EMPLOYEES OR SUBCONTRACTORS.  
3. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ADJACENT WORK AND SHALL REPAIR SAID DAMAGE AT HIS OWN EXPENSE. CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS.  
4. CODES: ALL WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES. IN CASE OF CONFLICT WHERE METHODS OR STANDARDS OF INSTALLATION OF THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN. NOTIFY THE DESIGNER OF ALL CONFLICTS.

DIMENSIONS:

1. ALL INFORMATION SHOWN ON THE DRAWINGS, RELATIVE TO THE EXISTING CONDITIONS ARE GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY, THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR CONDITION ADVERSELY AFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE WORK.  
2. EXTERIOR DIMENSIONS OF PLANS ARE TO BUILDING GRIDLINES OR FACE OF FRAMING UNLESS NOTED OTHERWISE.  
3. INTERIOR DIMENSIONS OF PLANS ARE TO GRIDLINES OR FACE OF FRAMING UNLESS NOTED OTHERWISE.  
4. DO NOT SCALE DRAWINGS: THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE PLANS AND ACTUAL FIELD MEASUREMENTS. NOTIFY THE DESIGNER IF DISCREPANCIES ARE FOUND.  
5. COORDINATION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND COORDINATION OF THE WORK OF ALL TRADES TO ASSURE COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS.

FIRE PROTECTION:

1. PROVIDE FIRE PROTECTION AT ALL PENETRATIONS OF FIRE RATED ELEMENTS AS REQUIRED BY THE CODE.

CONSTRUCTION:

1. CONTRACTOR SHALL INVESTIGATE AND VERIFY LOCATIONS OF STRUCTURAL, MECHANICAL AND ELECTRICAL ELEMENTS AND OTHER EXISTING CONDITIONS PRIOR TO BEGINNING THE WORK.  
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WALL BLOCKING FOR ALL WALL AND CEILING MOUNTED ITEMS.  
3. THERE SHALL BE NO EXPOSED PIPES, CONDUITS, DUCTS, VENTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED AND FINISHED, UNLESS NOTED AS EXPOSED ON THE CONSTRUCTION DRAWINGS.  
4. PROVIDE GALVANIC ISOLATION BETWEEN DISSIMILAR METALS.  
5. GENERAL CONTRACTOR IS TO COORDINATE WITH ELECTRICAL AND PLUMBING CONTRACTORS FOR ALL REQUIRED ROUGH-INS AND TRENCHING REQUIRED FOR ELECTRICAL AND PLUMBING RUNS.  
6. PROVIDE PRESSURE TREATED WOOD AT ALL LOCATIONS WHERE WOOD IS TO BE EXPOSED TO THE EXTERIOR OR WHERE WOOD COMES INTO CONTACT WITH CONCRETE OR SOIL.

CARPENTRY:

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R602.3(1).

GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AITC 117. EACH MEMBER SHALL BEAR AN AITC OR APA-ENG IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD. GLULAM HANGERS NOT SHOWN SHALL BE SIMPSON EG. BEAMS SHALL BE VISUALLY GRADED WESTERN SPECIES INDUSTRIAL GRADE, AND OF THE STRENGTH INDICATED BELOW:

DEPTH	COMBINATION SYMBOL	SPECIES	USE
ALL	24F - V4	DF/DF	(SIMPLE SPAN)
ALL	24F - V8	DF/DF	(CONT. OR CANTILEVER)

PREMANUFACTURED WOOD JOISTS: PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUS JOIST COMPANY, OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE JOIST MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF JOISTS IN WRITING TO THE ARCHITECT/ENGINEER. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ICBO APPROVED.

LUMBER SPECIES:

- A. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2
- B. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER
- C. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2.
- D. ALL STUDS TO BE DF-#2 OR BETTER.
- E. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:  
ROOF SHEATHING SHALL BE 1/2" CDX INT-APA RATED 32/16 OR 7/16" OSB.  
WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB.  
FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.
- F. '1' JOISTS SHALL BE MANUFACTURED BY TRUS JOIST OR ENGINEER APPROVED EQUAL.
- G. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

NAILING NOTES: (PER IRC TABLE R602.3(1))  
UNLESS SPECIFIED IN ENGINEERS CALCULATIONS

JOIST TO SILL OR GIRDER SOLE PLATE TO JOIST OR BLK'G STUD TO SOLE PLATE TOP PLATE TO STUD	TOE NAIL (3)-8d FACE NAIL 16d @ 16" OC TOE NAIL (4)-8d, END NAIL (2) 16d END NAIL (2)-16d
DOUBLE STUDS DOUBLE TOP PLATES CONTINUOUS HEADER, TWO PIECES TOP PLATES, LAPS AND INTERSECTIONS	FACE NAIL 16d @ 24" OC TOE NAIL 16d @ 16" OC 16d @ 16" OC ALONG EA. EDGE FACE NAIL (2)-16d
CEILING JOISTS TO PLATE CONTINUOUS HEADER TO STUD CEILING JOISTS TO PARALLEL RAFTERS RAFTER TO PLATE BUILT-UP CORNER STUDS	TOE NAIL (3)-8d TOE NAIL (4)-8d FACE NAIL (3)-10d TOE NAIL (2)-16d 10d @ 24" OC
PLYWOOD -OSB ROOF AND WALL SHEATHING	EDGES 8d @ 6" OC INTERMEDIATE 8d @ 12" OC (U.N.O. IN ENG.)
PLYWOOD SUBFLOOR	EDGES 8d @ 6" OC INTERMEDIATE 8d @ 12" OC

ROOF FRAMING NOTES

- TYP. ROOF FRAMING WILL BE MANUFACTURED TRUSSES @ 24" O.C. OR #2 D.F. RAFTERS @ 24" O.C. (U.N.O.)
- TYP HEADER TO BE 4X8 GDF UNO ON HEADER SCHEDULE.
- TRUSS MANUFACTURER TO PROVIDE ALL DRAWINGS AND ENGINEERING FOR TRUSSES.
- TRUSS MANUFACTURER TO SPECIFY ALL CONNECTIONS AND HANGERS.
- INSTALL ALL PERMANENT BRACING AS PER ENGINEERED TRUSSES DRAWINGS.
- OVERFRAME IN DESIGNATED AREAS W/ 2X6 #2 D.F. ( SUPPORT TO MAIN ROOF FRAMING @ 48" O.C. MAX.)
- SHEATHING TO BE 7/16" OSB OR EQ. NAILED @ 6" EDGES & 12" FIELD.
- PROVIDE 2 COURSES OF ICE DAM PROTECTION MIN AT ROOF PERIMETER
- 30# ROOFING FELT & STANDING SEAM METAL ROOFING.
- PROVIDE ROOF VENTING PER CODE.

SITE NOTES

SITE INFORMATION PROVIDED BY COUNTY TAX MAP AND OWNER VERIFICATION. ALL SITE CONDITIONS TO BE VERIFIED PRIOR TO CONSTRUCTION.

ALL SETBACKS, EASEMENTS AND CG&R REQUIREMENTS TO BE VERIFIED PRIOR TO CONSTRUCTION.

FINAL SITING OF THE DWELLING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ALL HARDSCAPE DRAINAGE TO BE DIRECTED TO LANDSCAPE DRAINAGE CONTAINMENT OR CITY DRYWELL. OR STORM WATER COLLECTION WHERE APPLICABLE.

CONFIRM ALL UTILITIES AND TRENCH LOCATIONS WITH CONTRACTOR PRIOR TO CONSTRUCTION.

PROVIDE EROSION CONTROL AND SILT FENCING AT PROJECT PERIMETER.

GRADING NOTES:

CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES. DRAINAGE CONTAINMENT CALCULATIONS SHALL BE LISTED ON THE SITE DRAWINGS AND BASED ON LOCAL CODE. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL. PLACE FILL SLOPES WITH A GRADIENT STEEPER THAN 3:1 IN LIFTS NOT TO EXCEED 12 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

FOUNDATION NOTES

ANCHOR BOLTS TO BE SPACED AT 48" O.C. MAX U.N.O ON SHEAR WALL PLAN.

ENGINEERED RETAINING WALLS MAY BE REQUIRED @ ALL LOCATIONS WHERE THE DISTANCE FROM FOOTING TO THE TOP OF THE MATERIAL BEING RETAINED IS EQUAL TO OR GREATER THAN 4' OR IF THERE IS A SURCHARGE ON THE WALL. (I.E.- SLOPING HILL, DRIVEWAY OR GARAGE SLAB ABOVE.)

CONTRACTOR TO VERIFY PLAN TO ACTUAL SITE CONDITIONS AND CONTACT ENGINEER IF RETAINING WALLS ARE REQUIRED.

STEP FOOTING AND STEM WALL AS REQUIRED BY GRADE.

PROVIDE CLOSEABLE FOUNDATION VENTS ( 1 PER 150 SQ' )

PROVIDE 6 MIL VAPOR BARRIER @ CRAWL SPACE.

TYP FOUNDATION WALL AT 1 STORY CONSTRUCTION TO BE 24"H X 8" CONC. WALL WITH (2) #4 BAR HORIZ. CONT. AND (1) #4 BAR VERT @ 48" O/C.

TYP FOUNDATION WALL AT 2 STORY CONSTRUCTION TO BE 24"H X 8" CONC. WALL WITH (2) #4 BAR HORIZ. CONT. AND (1) #4 BAR VERT @ 48" O/C.

FOR 36"H WALL PROVIDE (3) #4 BAR HORIZ. CONT. AND (1) #4 BAR VERT. @ 24" O/C.  
FOR 48"H WALL PROVIDE (4) #4 BAR HORIZ. CONT. AND (1) #4 BAR VERT. @ 24" O/C.

TYP STRIP FOOTING AT 1 STORY FOUNDATION WALL TO BE 12"W X 8"D CONC FOOTING WITH (2) #4 BAR CONT.

TYP STRIP FOOTING AT 2 STORY FOUNDATION WALL TO BE 16"W X 8"D CONC FOOTING WITH (2) #4 BAR CONT.

FLOOR FRAMING NOTES

AT LOWER FLOOR USE 3/4" T&G PLYWOOD OR 3/4" EDGEGLD SUBFLOOR OVER 9 1/2" I JOISTS.

AT UPPER FLOOR USE 3/4" T&G PLYWOOD OR 3/4" EDGEGLD SUBFLOOR OVER 11 7/8" I JOISTS.

GLUE AND NAIL W/ 8D NAILS @ 6" O.C. EDGES & 12" FIELD U.N.O.

SEE MANUFACTURERS PLAN FOR SPACING & TYPE.

WHERE TOP OF FLOOR BEAMS ARE EVEN WITH TOP OF JOISTS PROVIDE APPROPRIATE SIMPSON TOP FLANGE OR FACE MOUNT HANGER.

NAIL RIM BOARD TO SILL PLATE @ 4" O.C. U.N.O. IN ENGINEERS CALCULATIONS

WALL FRAMING NOTES

STRUCTURAL CONNECTORS TO BE SIMPSON ( OR EQ. ) INSTALLED WITH MAX. NAILING. USE GALVANIZED NAILS WHERE EXPOSED TO WEATHER.

ALL EXTERIOR WALLS TO BE 2X6 #2 DF STUDS @ 16" O.C. W/ 7/16" O.S.B. OR SIM. INSTALLED W/ 8D NAILS @ 6" O.C. EDGES & 12" FIELD U.N.O.

ALL INTERIOR WALLS TO BE 2X4 #2 DF STUDS @ 16" O.C.

TYP. HEADER 4X8 #2 DF U.N.O.

TYP. HEADER BEARING SUPPORT- (1) 2X TRIMMER & (1) 2X KING STUD U.N.O. PLACE DBL TRIMMERS @ HEADERS OVER 10" IN DEPTH OR OPENINGS GREATER THAN 8" IN WIDTH.

PROVIDE FULL WIDTH 2X BEARING UNDER ALL BEAM SUPPORT POINTS TO FOUNDATION U.N.O.

REFERENCE PLANS FOR BEAM SIZES OR STRUCTURAL CONNECTIONS NOT DEFINED HERE.

REFERENCE PLANS FOR ADDITIONAL ENGINEERS SPECIFICATIONS.

ALL FRAMING AND FASTENING SHALL COMPLY TO THE MOST CURRENT LOCAL BUILDING CODES.

GENERAL PLUMBING & HVAC NOTES:

1. HVAC SHALL BE ZONED WHERE APPLIES.
2. THE HEAT SOURCE SHALL CONFORM TO THE SPECIFICATIONS SET FORTH IN THE ADDITIONAL ENERGY MEASURES SUPPLIED FOR THIS PROJECT.
3. METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND.
4. DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER.
5. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
6. TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F.
7. A MINIMUM OF ONE EXTERIOR HOSE BIB SHALL BE SUPPLIED- CONFIRM WITH BUILDER.
8. HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED AS REQUIRED BY THE ENERGY MEASURES.
9. INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 10" ABOVE SHOWER DRAINS.
10. INSULATE WASTE LINES FOR SOUND CONTROL.

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DOOR AND WINDOW NOTES:

BASEMENTS AND EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW. FINISH SILL HEIGHT SHALL NOT BE GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. AT UPPER FLOOR LEVELS. EGRESS WINDOWS AT GRADE FLOOR SHALL HAVE A MINIMUM OPENABLE AREA OF 5.0 SQ.FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

OPERABLE WINDOWS INSTALLED WHERE THE SILL IS LESS THAN 24" ABOVE FINISH FLOOR INTERIOR AND GREATER THAN 12" ABOVE GRADE OR OTHER SURFACE SHALL HAVE AN APPROVED WINDOW OPENING CONTROL DEVICE (WOOD) OR SIMILAR.

WINDOWS IN HAZARDOUS LOCATIONS PER R308.4 SHALL HAVE SAFETY GLAZING PER R308.1

INTERIOR DOORS SHALL BE PAINTED OR STAINED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING.

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 20 MINUTES.

AT LEAST ONE EXTERIOR EXIT DOOR WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60

GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCR OACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.

TREADS SHALL HAVE A MIN. WIDTH OF 9". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".

STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.

ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.

STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.

34" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

EXTERIOR SPIRAL STAIRS TO BE FABRICATED AND INSTALLED PER THE MFG. INSTRUCTIONS.

ELECTRICAL DATA & AUDIO NOTES:

HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:

1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE SMOKE / CARBON MONOXIDE DETECTOR IN EACH CORRIDOR ACCESSING BEDROOMS WITHIN 15 FEET. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS. (SEE R314 & R315)
1. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
2. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
3. FIXTURES TO BE SELECTED BY HOME OWNER.

AUDIO:

1. LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR.
2. AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER.
3. LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.

DATA / CABLE:

LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.

NUMBER	DATE	REVISION	TABLE DESCRIPTION
2	4/16/2015	REV. BY ROB LITTLETON	ANG PRELIM

PROJECT LOCATION: LOT 114 AMBREY PARK, PHASE 3
PROJECT FOR: SIENNA BUILDING LOT 114 541-241-0406

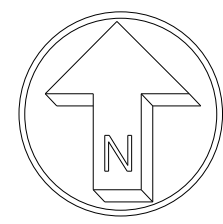
RESIDENTIAL CONSTRUCTION  
AND DESIGN

541-280-1120 PH  
541-610-1744 FAX  
CGB# 165287

FO BOX T167  
BEND OR 97708

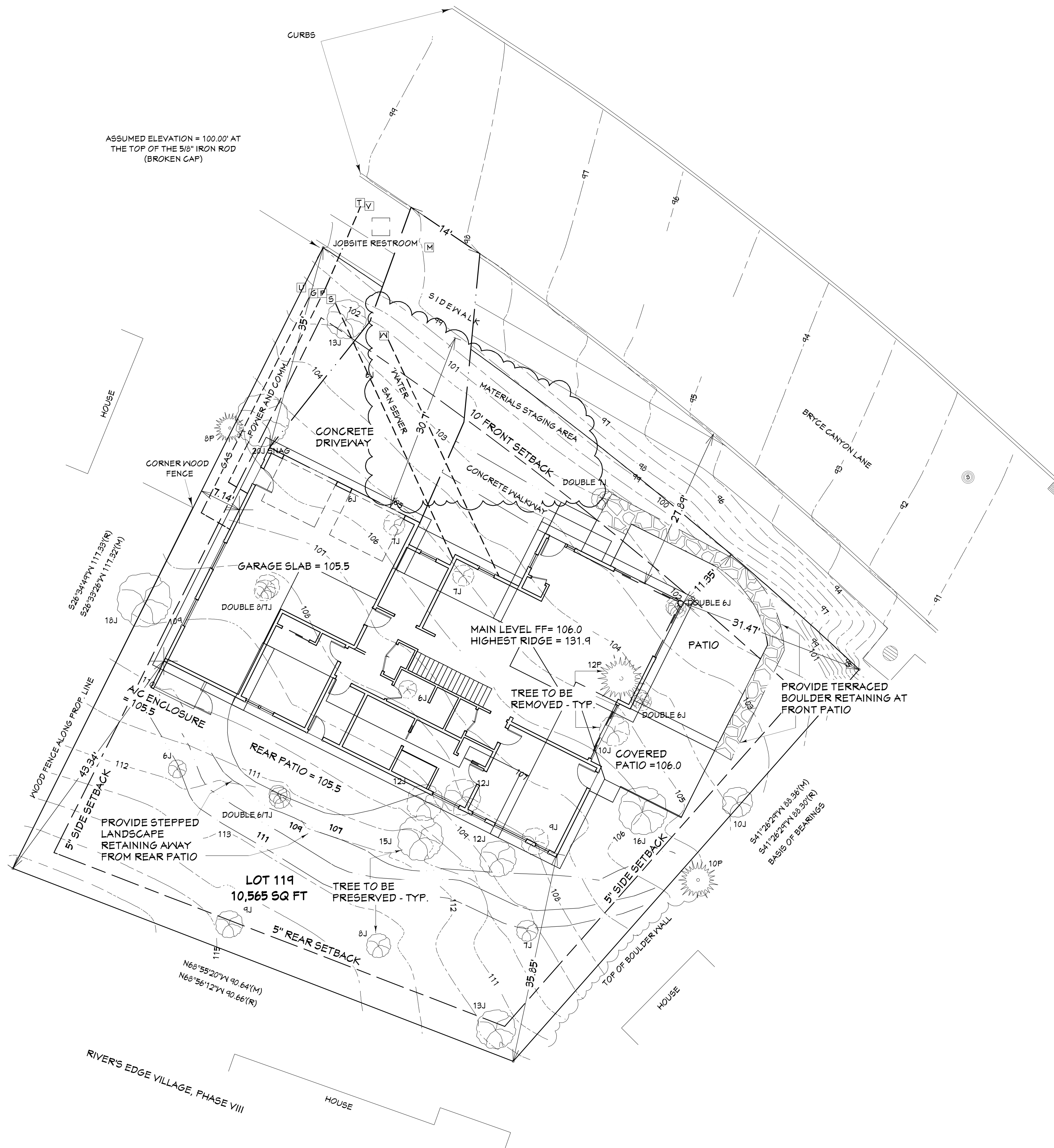
ROB LITTLETON INC.

DATE:
4/16/2015
SCALE:
1/4"=1' U.N.O.
SHEET TITLE:
PLAN NOTES
SHEET:
A0.02



DATE: 02/06/15  
SCALE: 1" = 10'

ASSUMED ELEVATION = 100.00' AT  
THE TOP OF THE 5/8" IRON ROD  
(BROKEN CAP)



RESERVED FOR BUILDING DEPARTMENT STAMP

- FOUND 5/8" IRON ROD WITH  
YELLOW PLASTIC CAP STAMPED  
"N&H PACIFIC"
- (R) RECORD BEARING & DISTANCE PER SURVEY OF  
RECORD BY BRIAN REEVES, LS# 2677, CS# 16106,  
FILED: 10/06/04
- (M) MEASURED BEARING & DISTANCE

- 10J JUNIPER & DIAMETER
- 10P PONDEROSA PINE & DIAMETER

- CATCH BASIN
- SEWER MANHOLE
- WATER STUBOUT
- SEWER STUBOUT
- WATER METER
- TELEPHONE PEDESTAL
- POWER BOX
- UNDERGROUND GAS STUB
- UNDERGROUND POWER STUB
- UNDERGROUND TELEPHONE STUBS
- DRY WELL

THIS SURVEY IS FOR TOPOGRAPHIC PURPOSES  
ONLY AND DOES NOT MEET THE REQUIREMENTS OF  
A BOUNDARY SURVEY AND IS SUBJECT TO ANY INACCURACIES  
THAT A SUBSEQUENT BOUNDARY SURVEY MAY REVEAL.

CONTOURS ARE BASED ON AN ASSUMED  
DATUM AND HAVE NO RELATIONSHIP TO  
SEA LEVEL DATUM.

THIS PROPERTY IS SUBJECT TO ALL EASEMENTS,  
RESTRICTIONS, AND RIGHT-OF-WAYS OF RECORD AND  
THOSE COMMON AND APPARENT ON THE LAND.

VARIOUS SIZED EXPOSED ROCK WAS FOUND SCATTERED  
THROUGHOUT THE LOT.

BUILDING LOT COVERAGE AND CALCULATIONS:

LOT AREA= 10565 SQ.FT.  
ALLOWABLE LOT COVERAGE 35% =3679 SQ.FT.  
PROPOSED BUILDING COVERAGE = 3391 SQ.FT.

- 5% OF LOT ALLOWANCE FOR  
COVERED PORCHES AND DECKS 520 SQ.FT.  
(ACTUAL DEDUCTION 234 SQ.FT.)

TOTAL ADJUSTED LOT COVERAGE = 3157 SQ.FT. (29.88%)

IMPERVIOUS AREA:

ROOF AREA= 3145 SQ.FT.  
DRIVEWAY= 920 SQ.FT.  
WALKWAY= 119 SQ.FT.  
FRONT PATIO= 450 SQ.FT.  
REAR PATIO= 140 SQ.FT.  
A/C ENCLOSURE = 24 SQ.FT.

TOTAL= 5438 SQ.FT.  
X .20

1080 CU.FT. RETENTION REQUIRED

PROJECT LOCATION:  
LOT 119  
AMBREY PARK, PHASE 3

PROJECT FOR:  
SIENNA BUILDING  
541-241-0406

RESIDENTIAL CONSTRUCTION  
AND DESIGN  
541-280-1120 PH FAX  
541-510-1744 FAX BEND OR 97708  
CCB# 165237

ROB LITTLETON INC.

DATE:

4/16/2015

SCALE:

1/4"=1' U.N.O.

SHEET TITLE:

SITE PLAN

SHEET:

A1.01

SITE PLAN 1"=10'

[illegible]

**PROJECT FOR:**  
**SIENNA BUILDING**

ROB LITTLETON INC.

SCALE:

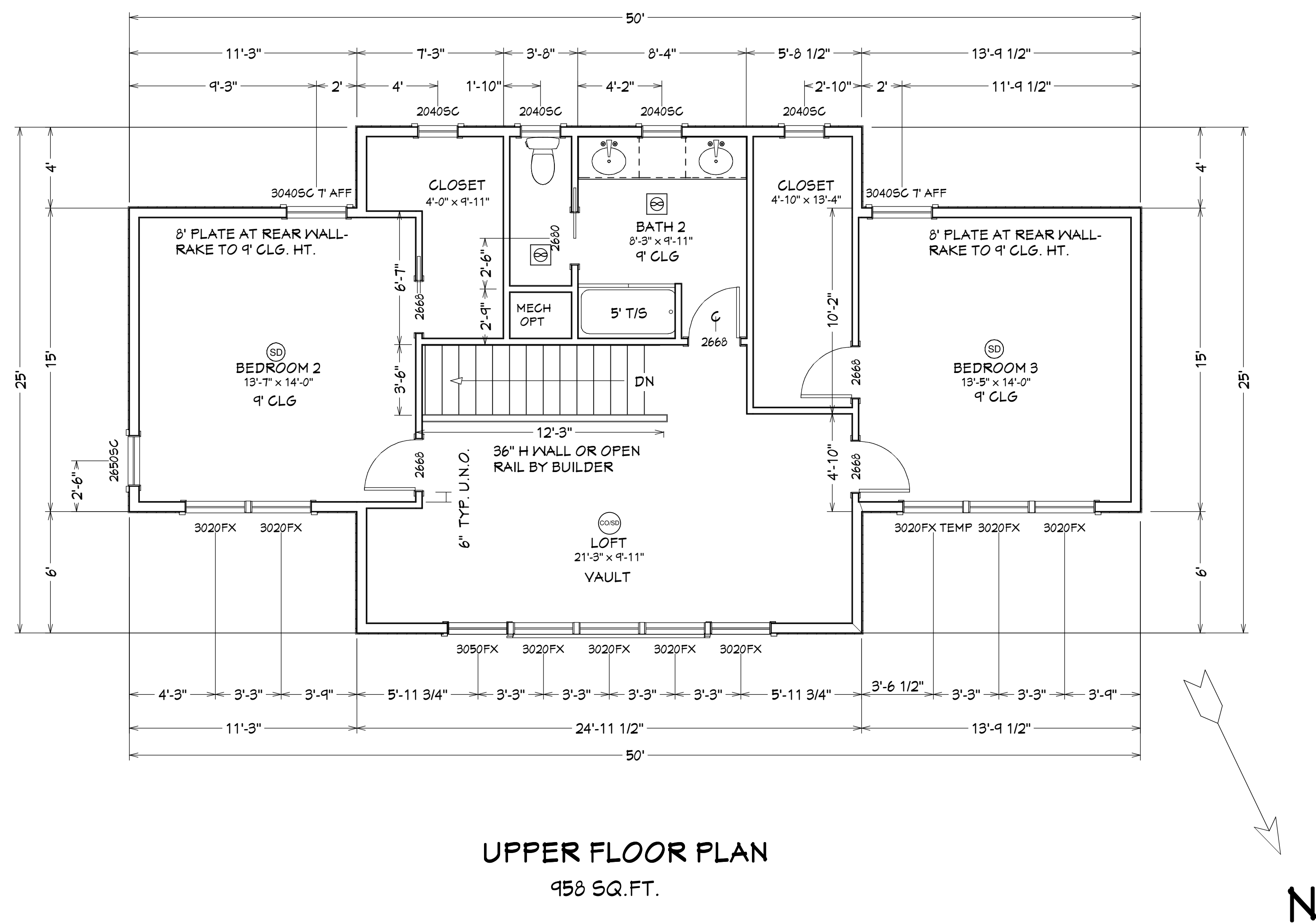
1/4"=1' U.N.O.

SHEET:  
A1.02





RESERVED FOR BUILDING DEPARTMENT STAMP



**BUILDING SECTION**  
**TO BE PROVIDED**

[illegible]

**PROJECT LOCATION:**  
LOT 119  
HAMBREY PARK, PHASE 3

**PROJECT FOR:**  
**SIENNA BUILDING**

**RESIDENTIAL CONSTRUCTION  
AND DESIGN**  
541-280-1120 PH PO BOX 7167  
541-610-1744 FAX BEND OR, 97708  
CCB# 165287

ROB LITTLETON INC.

DATE:

4/16/2015

SCALE:

1/4"=1' U.N.O.

**SHEET TITLE:**

FLOOR PLAN  
BLDG SECTION

SHEET:

A1.03



FRONT ELEVATION



REAR ELEVATION

REVISION TABLE	
NUMBER	DATE
1	4/16/2015
REVISION DESCRIPTION	
ROB LITTLETON A/C PRELIM	

PROJECT LOCATION:  
LOT 114  
AMBREY PARK, PHASE 3

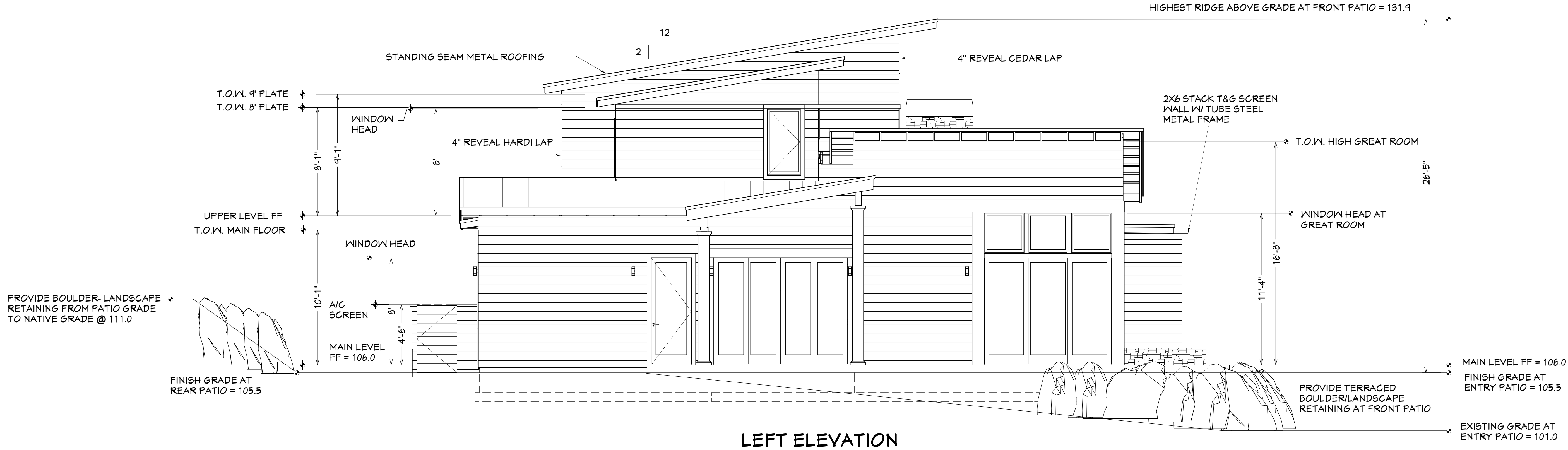
PROJECT FOR:  
SIENNA BUILDING  
541-241-0406

RESIDENTIAL CONSTRUCTION  
AND DESIGN

541-280-1120 PH      FO BOX 1167  
541-610-1744 FAX      BEND OR 97708  
CCB# 165287

ROB LITTLETON INC.

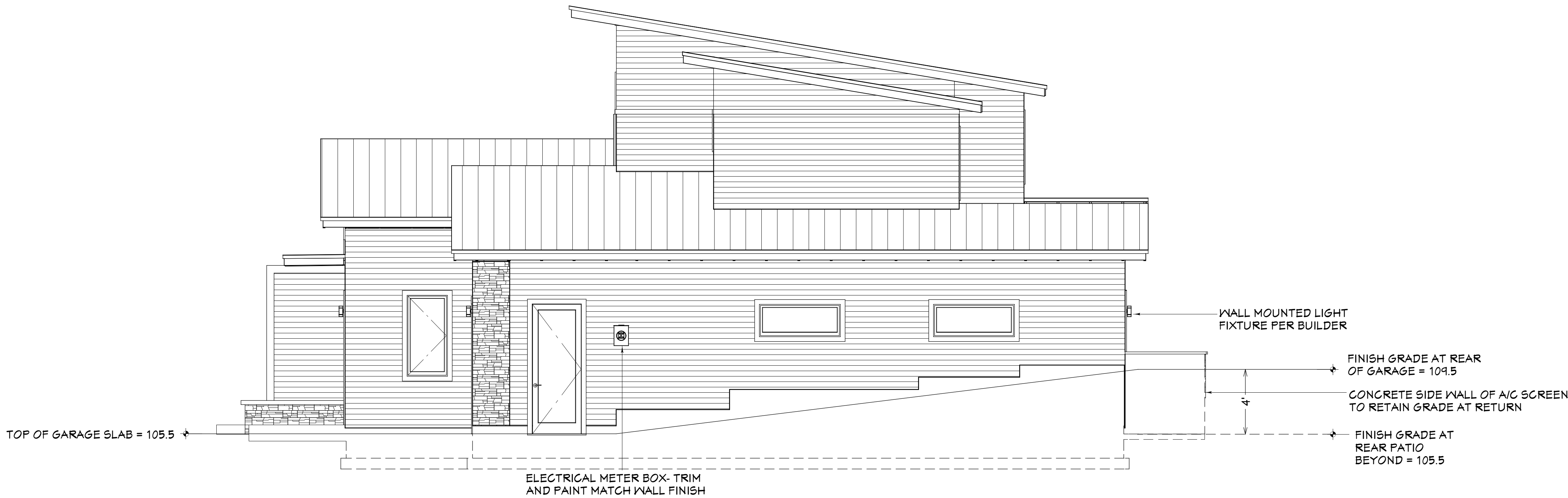
DATE:
4/16/2015
SCALE:
1/4"=1' U.N.O.
SHEET TITLE:
ELEVATIONS
SHEET:
A2.01



LEFT ELEVATION

EXTERIOR FINISH NOTES

- ROOFING - STANDING SEAM METAL/ TAYLOR METALS/ MEDIUM BRONZE
- FASCIA - RAKE AND LOWER FLAT 2 X8 PRIMED TRIM  
FASCIA- UPPER FLAT- EXPOSED RAFTER TAIL  
DRIIP FLASHING - MEDIUM BRONZE
- SIDING -MAIN 5 1/4\" HARDI-LAP W/ 4\" EXPOSURE  
- RAKE ENDS AND UPPER 4\" EXPOSURE CEDAR LAP
- CORNER TRIM - METAL CORNERS
- BAND TRIM - N/A
- WINDOW TRIM - 5/4 X 4 SIDE TRIM  
5/4 X 4 APRON  
5/4 X 4 HEAD
- STONE VENEER - CULTURED STONE/ LEDGESTONE/ PHEASANT
- BUILT-UP COLUMNS- PRIMED TRIM WRAP AROUND SUPPORT POST
- PAINT SCHEME:  
BODY- SW6075 GARRET GREY  
TRIM- SW6076 TURKISH COFFEE  
FRONT DOOR- SW6006 BLACK BEAN
- NOTE:  
PROVIDE WINDOW FLASHING AND DRAIN-WRAP PER DETAILS.



RIGHT ELEVATION

REVISION TABLE		
NUMBER	DATE	REVISION DESCRIPTION
1	4/16/2015	ROB LITTLETON A/C PRELIM

PROJECT LOCATION:  
LOT 114  
AMBREY PARK, PHASE 3

PROJECT FOR:  
SIENNA BUILDING  
541-241-0406

RESIDENTIAL CONSTRUCTION  
AND DESIGN  
541-280-1120 PH 541-510-1744 FAX  
FO BOX 1167 BEND OR 97708  
CGB# 165287

ROB LITTLETON INC.

DATE:

4/16/2015

SCALE:

1/4"=1' U.N.O.

SHEET TITLE:

ELEVATIONS

SHEET:

A2.02