

DATE	REVISED BY	DESCRIPTION
12/28/2015	ROB LITTLETON	SUBMITTAL DRAWINGS

PROJECT LOCATION:
14932 SODA SPRINGS DR.
BROKEN TOP COMMUNITY
BEND OR, 97102

A NEW HOME FOR -
TREVOR AND CHERIE LONG

SIENNA BUILDING COMPANY
STEVE McDONNELL
541-241-0406
CCB# 207349

RESIDENTIAL CONSTRUCTION
AND DESIGN
541-280-1120 PH PO BOX 1167
541-610-1744 FAX BEND OR, 97108
CCB# 165287

ROB LITTLETON INC.

DATE:
12/28/15

SCALE:
1/4"=1' U.N.O.

SHEET:
A0.01



FRONT EXTERIOR PERSPECTIVE



REAR EXTERIOR PERSPECTIVE

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ROB LITTLETON INC. DOES NOT REPRESENT ITSELF AS AN ARCHITECT, ENGINEER OR SURVEYOR. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/ BUILDER TO OBTAIN ALL BUILDING PERMITS AND TO VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS AND SITE CONDITIONS WITH THEIR CONTRACTOR, ENGINEER AND/ OR SURVEYOR PRIOR TO CONSTRUCTION.

MINIMUM STRUCTURAL DESIGN LOADS
DESIGN LOADS:
SNOW - 25 LBS. + DRIFT ROOF DEAD LOAD- 20 LBS.
WIND - 110 MPH @ 3 SECOND GUST
SEISMIC DESIGN CATEGORY C
FROST DEPTH - 18 INCHES
EXPOSURE - B
MINIMUM UNIFORM LIVE LOADS
BALCONIES - 60 LBS. SQ.FT.
DECKS - 40 LBS. SQ.FT.
FIRE ESCAPES - 40 LBS. SQ.FT.
GARAGES - 50 LBS. SQ.FT.
ATTICS (NO STORAGE) - 10 LBS. SQ.FT.
ATTICS (LIMITED STORAGE) - 20 LBS. SQ.FT.
ATTICS (SERVED W/ FIXED STAIRS) - 30 LBS. SQ.FT.
DWELLINGS - 40 LBS. SQ.FT.
STAIRS - 40 LBS. SQ.FT.
GUARDRAILS & HANDRAILS 200 LBS. SQ.FT.

ADDITIONAL ENERGY MEASURES PROVIDED.

RESIDENTIAL ENERGY ENVELOPE ENHANCEMENT MEASURE 3:
INSULATION :
FLOORS-
UNDERFLOOR- R30
SLAB EDGE PERIMETER- R15
HEATED SLAB, INTERIOR- R10
FLOOR ASSEMBLY OVER UNCONDITIONED SPACE- R30
WALLS-
ABOVE GRADE- R21
BELOW GRADE- R19 FOR FRAMED ASSEMBLIES OR R15 CONTINUOUS
CEILING-
FLAT- R49 WITH MIN R21 AT EDGE
SCISSOR TRUSS VAULT- R30
RAFTER VAULT- R30
WINDOWS- U0.30, AND PERFORMANCE TESTED DUCT SYSTEM

CONSERVATION MEASURE OPTION A- HIGH EFFICIENCY HVAC SYSTEM
GAS FIRED FURNACE OR BOILER WITH MINIMUM AFUE OF 90%
OR AIR-SOURCE HEAT PUMP WITH MINIMUM HSPF OF 9.5
OR CLOSED LOOP GROUND SOURCE HEAT PUMP WITH MINIMUM COP OF 3.0

ADDITIONAL PROJECT SPECIFIC NOTES.

GENERAL NOTES

GENERAL:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES.
2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE DESIGNER/ENGINEER HARMLESS FOR INJURY OR DEATH TO PERSONS OR FOR DAMAGE TO PROPERTY CAUSED BY NEGLIGENCE OF THE CONTRACTOR, HIS AGENTS, EMPLOYEES OR SUBCONTRACTORS.
3. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ADJACENT WORK AND SHALL REPAIR SAID DAMAGE AT HIS OWN EXPENSE. CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS.
4. CODES: ALL WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES. IN CASE OF CONFLICT WHERE METHODS OR STANDARDS OF INSTALLATION OF THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN. NOTIFY THE DESIGNER OF ALL CONFLICTS.

DIMENSIONS:

1. ALL INFORMATION SHOWN ON THE DRAWINGS, RELATIVE TO THE EXISTING CONDITIONS ARE GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR CONDITION ADVERSELY AFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE WORK.
2. EXTERIOR DIMENSIONS OF PLANS ARE TO BUILDING GRIDLINES OR FACE OF FRAMING UNLESS NOTED OTHERWISE.
3. INTERIOR DIMENSIONS OF PLANS ARE TO GRIDLINES OR FACE OF FRAMING UNLESS NOTED OTHERWISE.
4. DO NOT SCALE DRAWINGS; THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE PLANS AND ACTUAL FIELD MEASUREMENTS. NOTIFY THE DESIGNER IF DISCREPANCIES ARE FOUND.
5. COORDINATION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND COORDINATION OF THE WORK OF ALL TRADES TO ASSURE COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS.

FIRE PROTECTION:

1. PROVIDE FIRE PROTECTION AT ALL PENETRATIONS OF FIRE RATED ELEMENTS AS REQUIRED BY THE CODE.

CONSTRUCTION:

1. CONTRACTOR SHALL INVESTIGATE AND VERIFY LOCATIONS OF STRUCTURAL, MECHANICAL AND ELECTRICAL ELEMENTS AND OTHER EXISTING CONDITIONS PRIOR TO BEGINNING THE WORK.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WALL BLOCKING FOR ALL WALL AND CEILING MOUNTED ITEMS.
3. THERE SHALL BE NO EXPOSED PIPES, CONDUITS, DUCTS, VENTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED AND FINISHED, UNLESS NOTED AS EXPOSED ON THE CONSTRUCTION DRAWINGS.
4. PROVIDE GALVANIC ISOLATION BETWEEN DISSIMILAR METALS.
5. GENERAL CONTRACTOR IS TO COORDINATE WITH ELECTRICAL AND PLUMBING CONTRACTORS FOR ALL REQUIRED ROUGH-INS AND TRENCHING REQUIRED FOR ELECTRICAL AND PLUMBING RUNS.
6. PROVIDE PRESSURE TREATED WOOD AT ALL LOCATIONS WHERE WOOD IS TO BE EXPOSED TO THE EXTERIOR OR WHERE WOOD COMES INTO CONTACT WITH CONCRETE OR SOIL.

CARPENTRY:

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D. F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IRC TABLE 2304.9.1 OR IRC TABLE R602.3(1).

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD OR APA PRP-109 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R602.3(1).

GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 96, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AITC 111. EACH MEMBER SHALL BEAR AN AITC OR APA-EM5 IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD. GLULAM HANGERS NOT SHOWN SHALL BE SIMPSON EG. BEAMS SHALL BE VISUALLY GRADED WESTERN SPECIES INDUSTRIAL GRADE, AND OF THE STRENGTH INDICATED BELOW.

DEPTH	COMBINATION SYMBOL	SPECIES	USE
ALL	24F-V4	DF/DF	(SIMPLE SPAN)
ALL	24F-V8	DF/DF	(CONT. OR CANTILEVER)

MANUFACTURED WOOD JOISTS: PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUS JOIST COMPANY, OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE JOIST MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF JOISTS IN WRITING TO THE ARCHITECT/ENGINEER. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ICBO APPROVED.

LUMBER SPECIES:

- A. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2
- B. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER
- C. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2
- D. ALL STUDS TO BE DF#2 OR BETTER
- E. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
ROOF SHEATHING SHALL BE 5/8" CDX INT-APA RATED 5/8" OSB.
WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB.
FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.
- F. 1" JOISTS SHALL BE MANUFACTURED BY TRUS JOIST OR ENGINEER APPROVED EQUAL.
- G. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

NAILING NOTES: (PER IRC TABLE R602.3(1)) UNLESS SPECIFIED IN ENGINEERS CALCULATIONS

JOIST TO SILL OR GIRDER	TOE NAIL (3)-8d
BRIDGING TO JOIST	TOE NAIL EA. END (2)-8d
SOLE PLATE TO JOIST OR BLK'G	FACE NAIL 16d @ 16" OC
STUD TO SOLE PLATE	TOE NAIL (4)-8d, END NAIL (2) 16d
TOP PLATE TO STUD	END NAIL (2)-16d
DOUBLE STUDS	FACE NAIL 16d @ 24" OC
DOUBLE TOP PLATES	FACE NAIL 16d @ 16" OC
CONTINUOUS HEADER, TWO PIECES	16d @ 16" OC ALONG EA. EDGE
BUILT-UP HEADER, TWO PIECES	16d @ 16" OC ALONG EA. EDGE
W/ 1/2" SPACER	FACE NAIL (2)-16d
TOP PLATES, LAPs AND INTERSECTIONS	FACE NAIL (2)-16d
CEILING JOISTS TO PLATE	TOE NAIL (3)-8d
CONTINUOUS HEADER TO STUD	TOE NAIL (4)-8d
CEILING JOISTS, LAPs OVER PARTITIONS	FACE NAIL (3)-10d
CEILING JOISTS TO PARALLEL RAFTERS	FACE NAIL (3)-10d
RAFTER TO PLATE	TOE NAIL (2)-16d
1" BRACE TO EACH STUD AND PLATE	FACE NAIL (2)-8d
BUILT-UP CORNER STUDS	10d @ 24" OC
2" PLANKS	(2)-16d @ EA. BRG.
PLYWOOD OSB ROOF AND WALL SHEATHING	EDGES 8d @ 6" OC
	INTERMEDIATE 8d @ 12" OC
PLYWOOD SUBFLOOR	EDGES 8d @ 6" OC
	INTERMEDIATE 8d @ 12" OC

FOUNDATION NOTES

ANCHOR BOLTS TO BE SPACED AT 48" O.C. MAX U.N.O ON SHEAR WALL PLAN.

ENGINEERED RETAINING WALLS MAY BE REQUIRED @ ALL LOCATIONS WHERE THE DISTANCE FROM FOOTING TO THE TOP OF THE MATERIAL BEING RETAINED IS EQUAL TO OR GREATER THAN 4' OR IF THERE IS A SURCHARGE ON THE WALL. (I.E. SLOPING HILL, DRIVEWAY OR GARAGE SLAB ABOVE)

CONTRACTOR TO VERIFY PLAN TO ACTUAL SITE CONDITIONS AND CONTACT ENGINEER IF RETAINING WALLS ARE REQUIRED.

STEP FOOTING AND STEM WALL AS REQUIRED BY GRADE.

PROVIDE CLOSEABLE FOUNDATION VENTS (1 PER 150 SQ')

PROVIDE 6 MIL VAPOR BARRIER @ CRAWL SPACE.

TFP FOUNDATION WALL AT 1 STORY CONSTRUCTION TO BE 24" X 8" CONC. WALL WITH (2) #4 BAR HORIZ. CONT. AND (1) #4 BAR VERT @ 48" O.C.

TFP FOUNDATION WALL AT 2 STORY CONSTRUCTION TO BE 24" X 8" CONC. WALL WITH (2) #4 BAR HORIZ. CONT. AND (1) #4 BAR VERT @ 48" O.C.

FOR 36" WALL PROVIDE (3) #4 BAR HORIZ. CONT. AND (1) #4 BAR VERT. @ 24" O.C.

FOR 48" WALL PROVIDE (4) #4 BAR HORIZ. CONT. AND (1) #4 BAR VERT. @ 24" O.C.

TFP STRIP FOOTING AT 1 STORY FOUNDATION WALL TO BE 16" X 8" D CONC. FOOTING WITH (2) #4 BAR CONT.

TFP STRIP FOOTING AT 2 STORY FOUNDATION WALL TO BE 16" X 8" D CONC. FOOTING WITH (2) #4 BAR CONT.

LUMBER SPECIES; UNLESS SPECIFIED IN ENGINEERS CALCULATIONS

1. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2
2. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER OR GLU-LAMINATED BEAMS PER STRUCTURAL.
3. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2
4. ALL STUDS TO BE DF#2 OR BETTER.
5. ALL MATERIALS IN DIRECT CONTACT WITH CONCRETE TO BE PRESSURE TREATED HF
6. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
a. ROOF SHEATHING SHALL BE 5/8" PLYWOOD OR 1932" OSB.
b. WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB.
c. FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.

FLOOR FRAMING NOTES

AT LOWER FLOOR USE 3/4" T&G PLYWOOD OR 3/4" EDGEGOLD SUBFLOOR OVER 4 1/2" I JOISTS.

AT UPPER FLOOR USE 3/4" T&G PLYWOOD OR 3/4" EDGEGOLD SUBFLOOR OVER 11 7/8" I JOISTS.

GLUE AND NAIL W/ 8D NAILS @ 6" O.C. EDGES & 12" FIELD U.N.O.

SEE MANUFACTURERS PLAN FOR SPACING & TYPE.

WHERE TOP OF FLOOR BEAMS ARE EVEN WITH TOP OF JOISTS PROVIDE APPROPRIATE SIMPSON TOP FLANGE OR FACE MOUNT HANGER.

NAIL RIM BOARD TO SILL PLATE @ 4" O.C. U.N.O. IN ENGINEERS CALCULATIONS

RESERVED FOR BUILDING DEPARTMENT STAMP

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WALL FRAMING NOTES

STRUCTURAL CONNECTORS TO BE SIMPSON (OR EQ.) INSTALLED WITH MAX. NAILING. USE GALVANIZED NAILS WHERE EXPOSED TO WEATHER.

ALL EXTERIOR WALLS TO BE 2X6 #2 DF STUDS @ 16" O.C. W/ 7/16" O.S.B. OR SIM. INSTALLED W/ 8D NAILS @ 6" O.C. EDGES & 12" FIELD U.N.O.

ALL INTERIOR WALLS TO BE 2X4 #2 DF STUDS @ 16" O.C.

TYP. HEADER 4X8 #2 DF U.N.O.

TYP. HEADER BEARING SUPPORT- (1) 2X TRIMMER & (1) 2X KING STUD U.N.O. FLAGE DBL TRIMMERS @ HEADERS OVER 10" IN DEPTH OR OPENINGS GREATER THAN 8' IN WIDTH.

PROVIDE FULL WIDTH 2X BEARING UNDER ALL BEAM SUPPORT POINTS TO FOUNDATION U.N.O.

REFERENCE PLANS FOR BEAM SIZES OR STRUCTURAL CONNECTIONS NOT DEFINED HERE.

REFERENCE PLANS FOR ADDITIONAL ENGINEERS SPECIFICATIONS.

ALL FRAMING AND FASTENING SHALL COMPLY TO THE MOST CURRENT LOCAL BUILDING CODES.

ROOF FRAMING NOTES

TYP. ROOF FRAMING WILL BE MANUFACTURED TRUSSES @ 24" O.C. OR #2 D.F. RAFTERS @ 24" O.C. (U.N.O.)

TYP HEADER TO BE 4X8 6DF UNO ON HEADER SCHEDULE.

TRUSS MANUFACTURER TO PROVIDE ALL DRAWINGS AND ENGINEERING FOR TRUSSES.

TRUSS MANUFACTURER TO SPECIFY ALL CONNECTIONS AND HANGERS.

INSTALL ALL PERMANENT BRACING AS PER ENGINEERED TRUSSES DRAWINGS.

OVERFRAME IN DESIGNATED AREAS W/ 2X6 #2 D.F. (SUPPORT TO MAIN ROOF FRAMING @ 48" O.C. MAX)

SHEATHING TO BE 5/8" PLYWOOD OR EQ. NAILED @ 6" EDGES & 12" FIELD.

PROVIDE 2 COURSES OF ICE DAM PROTECTION MIN AT ROOF PERIMETER

30# ROOFING FELT & TILE ROOFING PER BUILDER.

PROVIDE ROOF VENTING PER CODE.

DOOR AND WINDOW NOTES:

BASEMENTS AND EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW. FINISH SILL HEIGHT SHALL NOT BE GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. AT UPPER FLOOR LEVELS. EGRESS WINDOWS AT GRADE FLOOR SHALL HAVE A MINIMUM OPENABLE AREA OF 5.0 SQ.FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

OPERABLE WINDOWS INSTALLED WHERE THE SILL IS LESS THAN 24" ABOVE FINISH FLOOR INTERIOR AND GREATER THAN 12" ABOVE GRADE OR OTHER SURFACE SHALL HAVE AN APPROVED WINDOW OPENING CONTROL DEVICE (WOOD) OR SIMILAR.

WINDOWS IN HAZARDOUS LOCATIONS PER R308.4 SHALL HAVE SAFETY GLAZING PER R308.1

INTERIOR DOORS SHALL BE PAINTED OR STAINED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 20 MINUTES.

AT LEAST ONE EXTERIOR EXIT DOOR WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60

GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCROUGH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH. TREADS SHALL HAVE A MIN. WIDTH OF 9". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".

STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.

ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO A WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.

STAIRWAYS HAVING LESS THAN 3 RISERS DO NOT REQUIRE A HAND RAIL.

34" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

EXTERIOR SPIRAL STAIRS TO BE FABRICATED AND INSTALLED PER THE MFG. INSTRUCTIONS.

ELECTRICAL, DATA, & AUDIO NOTES:

HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:

1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS
2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE SMOKE / CARBON MONOXIDE DETECTOR IN EACH CORRIDOR ACCESSING BEDROOMS WITHIN 15 FEET. CONNECT SMOKE DETECTORS TO HOUSE BATTERY AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE PANNER BACKUP FOR ALL UNITS. (SEE R314 & R315)
3. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
5. FIXTURES TO BE SELECTED BY HOME OWNER.

AUDIO:

1. LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR.
2. AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;
3. LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON QN." SYSTEM TO BE APPROVED BY HOME OWNER.

DATA / CABLE:

LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.

GENERAL PLUMBING & HVAC NOTES:

1. HVAC SHALL BE ZONED WHERE APPLIES
2. THE HEAT SOURCE SHALL CONFORM TO THE SPECIFICATIONS SET FORTH IN THE ADDITIONAL ENERGY MEASURES SUPPLIED FOR THIS PROJECT
3. METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND.
4. DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
5. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER.
6. TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F.
7. A MINIMUM OF ONE EXTERIOR HOSE BIB SHALL BE SUPPLIED; CONFIRM WITH BUILDER
8. HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED AS REQUIRED BY THE ENERGY MEASURES.
9. INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 10" ABOVE SHOWER DRAINS.
10. INSULATE WASTE LINES FOR SOUND CONTROL.

SURVEYORS NOTES:
 - THIS SURVEY IS FOR TOPOGRAPHIC PURPOSES ONLY AND DOES NOT MEET THE REQUIREMENTS OF A BOUNDARY SURVEY AND IS SUBJECT TO ANY INACCURACIES THAT A SUBSEQUENT BOUNDARY SURVEY MAY REVEAL.
 - CONTOURS ARE BASED ON AN ASSUMED DATUM AND HAVE NO RELATIONSHIP TO SEA LEVEL DATUM.
 - CONTOUR INTERVAL IS 0.3' DUE TO THE FLATNESS OF THE LOT.
 - THIS PROPERTY IS SUBJECT TO ALL EASEMENTS, RESTRICTIONS, AND RIGHT-OF-WAYS OF RECORD AND THOSE COMMON AND APPARENT ON THE LAND.

DRAINAGE NOTES:
 - ALL SURFACE WATER AND RUNOFF TO BE CONTAINED ON SITE
 - VERIFY FLOW FROM HARDSCAPE TO DRAINAGE RETENTION AREAS
 - DRAINAGE RETENTION SHALL BE LINED WITH FILTER FABRIC OF APPROVED EQ AND FREE DRAINING RIVER ROCK TO BLEND WITH SURROUNDING LANDSCAPE ELEMENTS
 - PIPE ROOF RUNOFF FROM DOWNSPOUTS OR CHAINS TO RETENTION AREAS SO THAT RUNOFF DOES NOT ERODE FINISH GRADE AT EAVE
 - FINAL GRADING SHALL ALLOW FOR A MINIMUM OF 6" OF FLOW WITHIN THE FIRST 10'-0" UNLESS LIMITED PER SITE CONDITIONS

BUILDING LOT COVERAGE AND CALCULATIONS:
 LOT AREA= 17199 SQ.FT
 ALLOWABLE LOT COVERAGE 35 % = 6224.65 SQ.FT.
 PROPOSED BUILDING COVERAGE:
 DWELLING = 2472 SQ. FT. - MAIN FLOOR
 DWELLING = 1249 SQ.FT. - UPPER FLOOR
 DWELLING = 4221 SQ.FT. TOTAL LIVING
 GARAGES = 812 SQ.FT.
 DECKS AND COVERED PORCHES = 591 SQ.FT.
 TOTAL BUILDING FOOTPRINT = 4515 SQ.FT.
 (- 5% OF LOT SIZE EXCLUSION FOR DECKS AND COVERED PORCHES = 984.95 SQ.FT.)
 4515 SQ.FT. - 591 SQ.FT. (ACTUAL EXCLUSION) = 3924 SQ.FT. = 19.81%

IMPERVIOUS AREA DATA:
 DRIVEWAY= 2026 SQ.FT.
 FRONT COURTYARD= 108 SQ.FT.
 REAR PATIO NOT COVERED = 415 SQ.FT.
 TRASH-MECH NOT COVERED = N/A
 ROOF AREA = 4950 SQ.FT.
 TOTAL = 7599 SQ.FT. (38.11% OF LOT)
 TOTAL RETENTION REQUIRED = 1511 CUBIC FEET

RESERVED FOR BUILDING DEPARTMENT STAMP

DATE	REVISED BY	DESCRIPTION
12/28/2015	ROB LITTLETON	SUBMITTAL DRAWINGS

PROJECT LOCATION:
 14832 SODA SPRINGS DR.
 BROKEN TOP COMMUNITY
 BEND OR, 97102

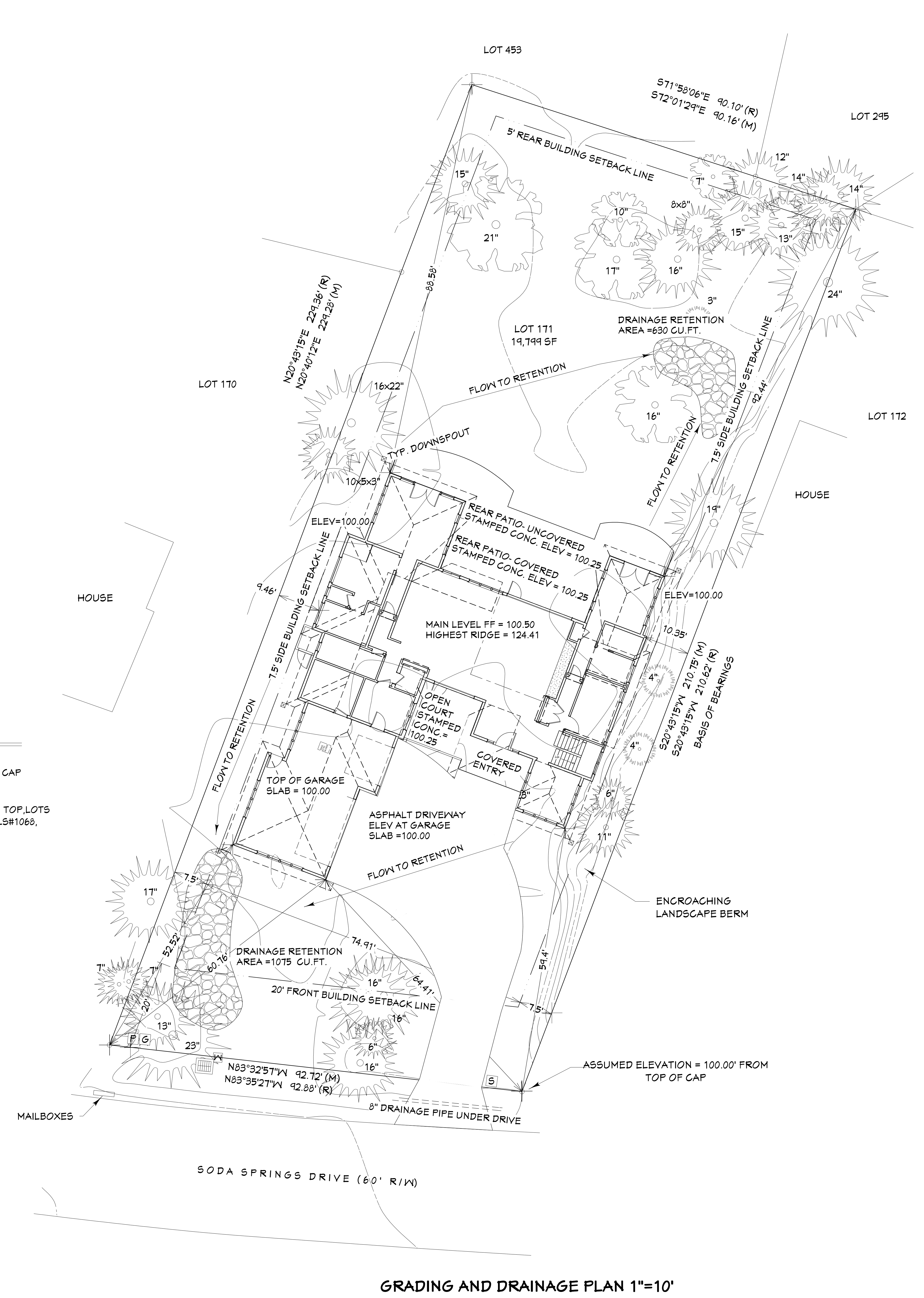
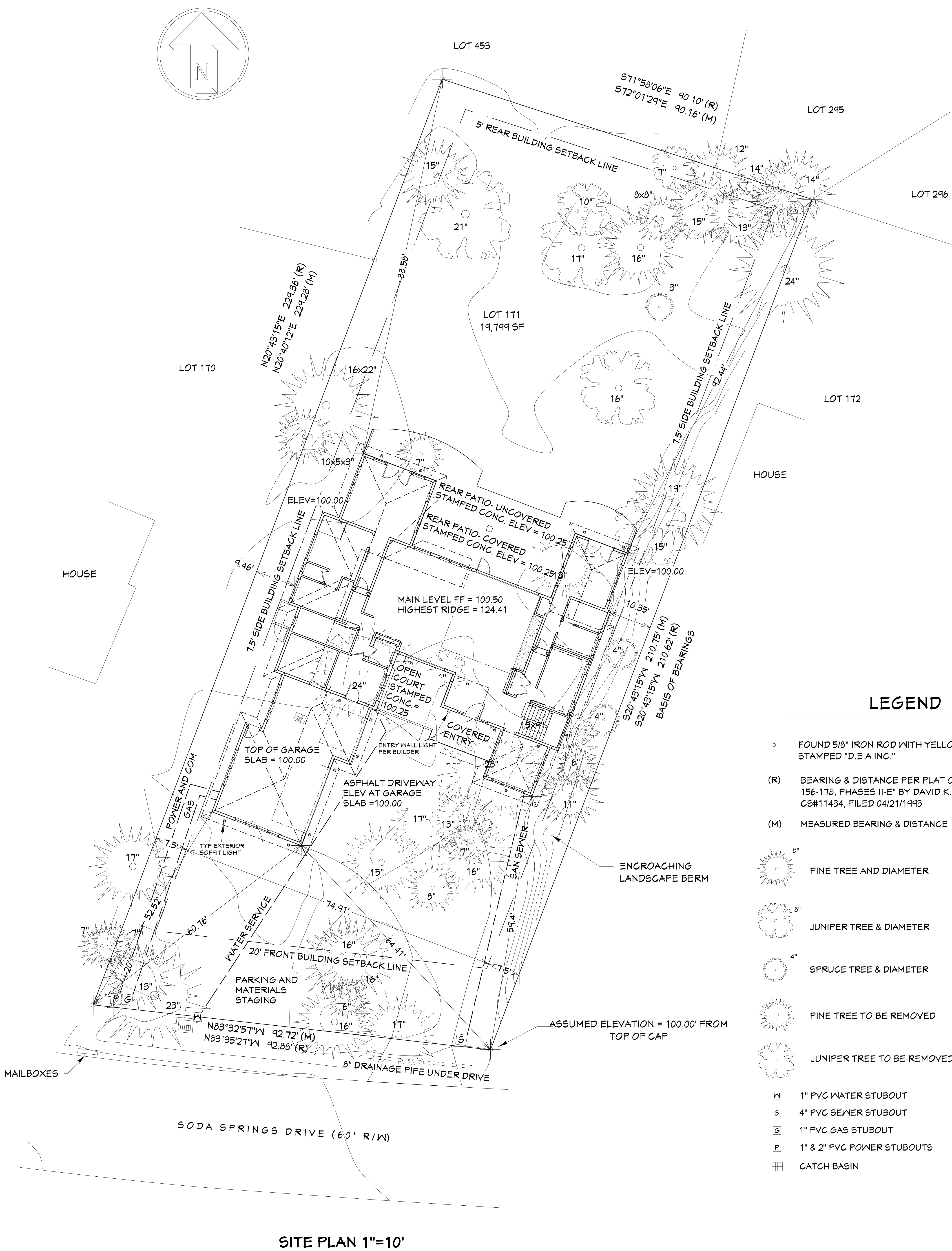
A NEW HOME FOR -
 TREYER AND CHERIE LONG

SIENNA BUILDING COMPANY
 STEVE McDONNELL
 541-241-0406
 CCB# 207349

RESIDENTIAL CONSTRUCTION
 AND DESIGN
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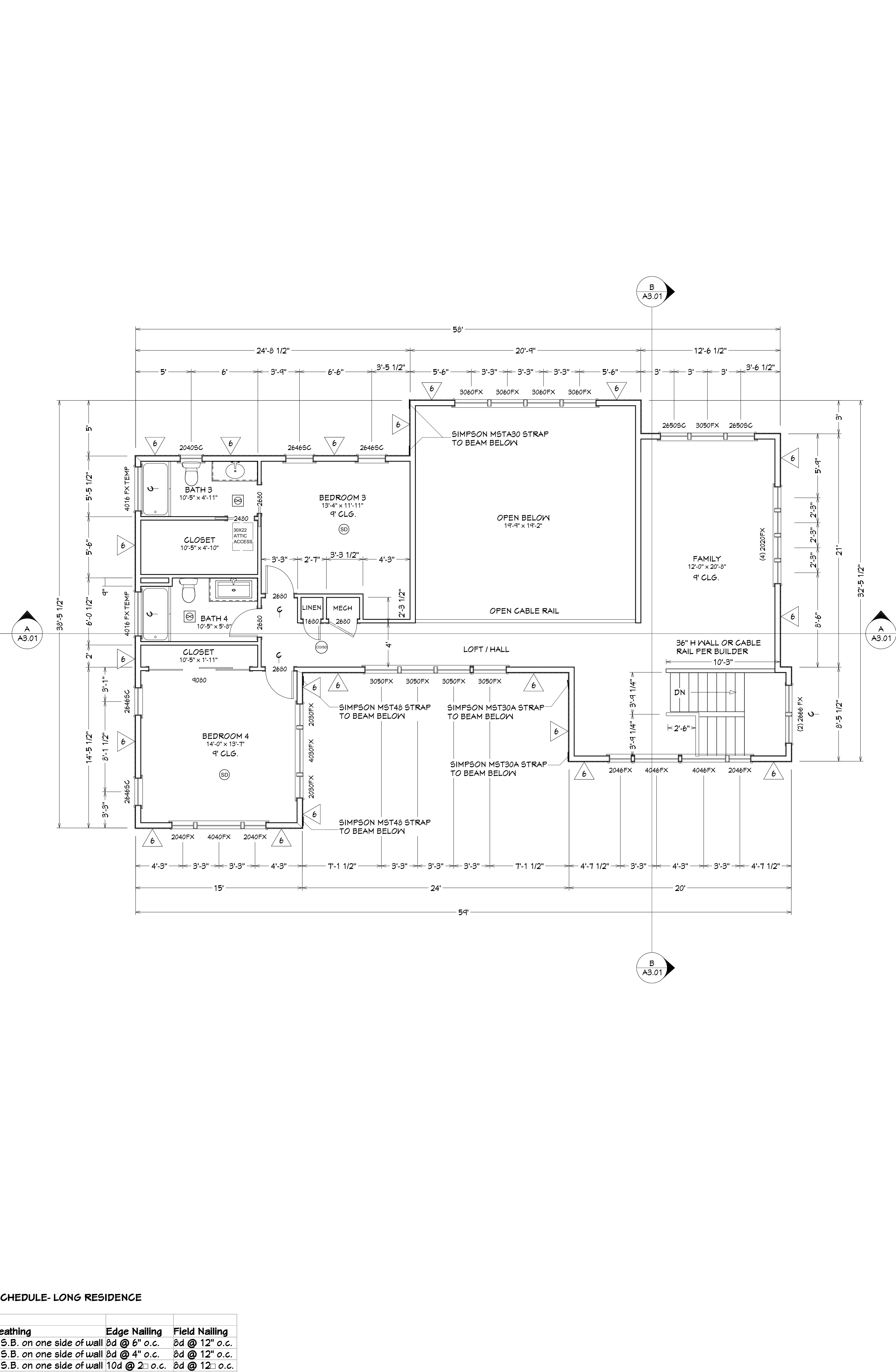
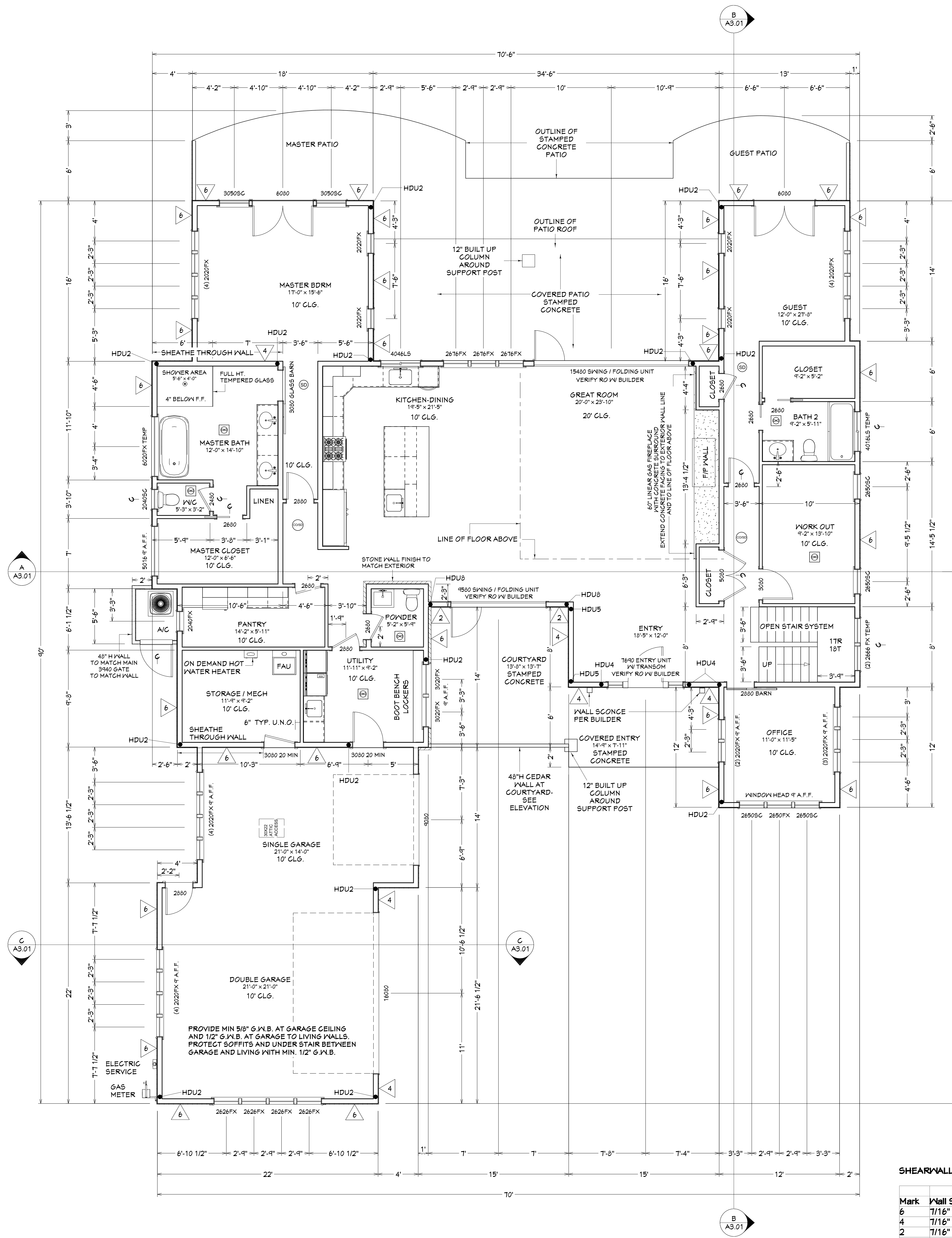
ROB LITTLETON INC.

DATE:	12/28/15
SCALE:	1/4"=1' U.N.O.
SHEET:	A1.01



SITE PLAN 1"=10'

GRADING AND DRAINAGE PLAN 1"=10'



SHEARWALL SCHEDULE- LONG RESIDENCE

Mark	Wall Sheathing	Edge Nailing	Field Nailing
6	7/16" O.S.B. on one side of wall	6d @ 6" o.c.	6d @ 12" o.c.
4	7/16" O.S.B. on one side of wall	4" o.c.	6d @ 12" o.c.
2	7/16" O.S.B. on one side of wall	10d @ 2' o.c.	6d @ 12" o.c.

Mark	Rim Joist	Sill Plate	Foundation Anchors
6	16d @ 6" o.c.	'Simpson' L550 @ 24" o.c.	1/2" x 10" all-thread @ 48" o.c.
4	16d @ 4" o.c.	'Simpson' L550 @ 18" o.c.	1/2" x 10" all-thread @ 30" o.c.
2	16d @ 3" o.c.	'Simpson' L550 @ 16" o.c.	1/2" x 10" all-thread @ 24" o.c.

DATE: 12/28/2015
 REVISIONS: 1
 PROJECT LOCATION: 14932 SODA SPRINGS DR. BROKEN TOP COMMUNITY BEND OR, 97102

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ROB LITTLETON INC.

DATE: 12/28/15
 SCALE: 1/4"=1' U.N.O.
 SHEET: A.1.02

DATE	REVISED BY	DESCRIPTION
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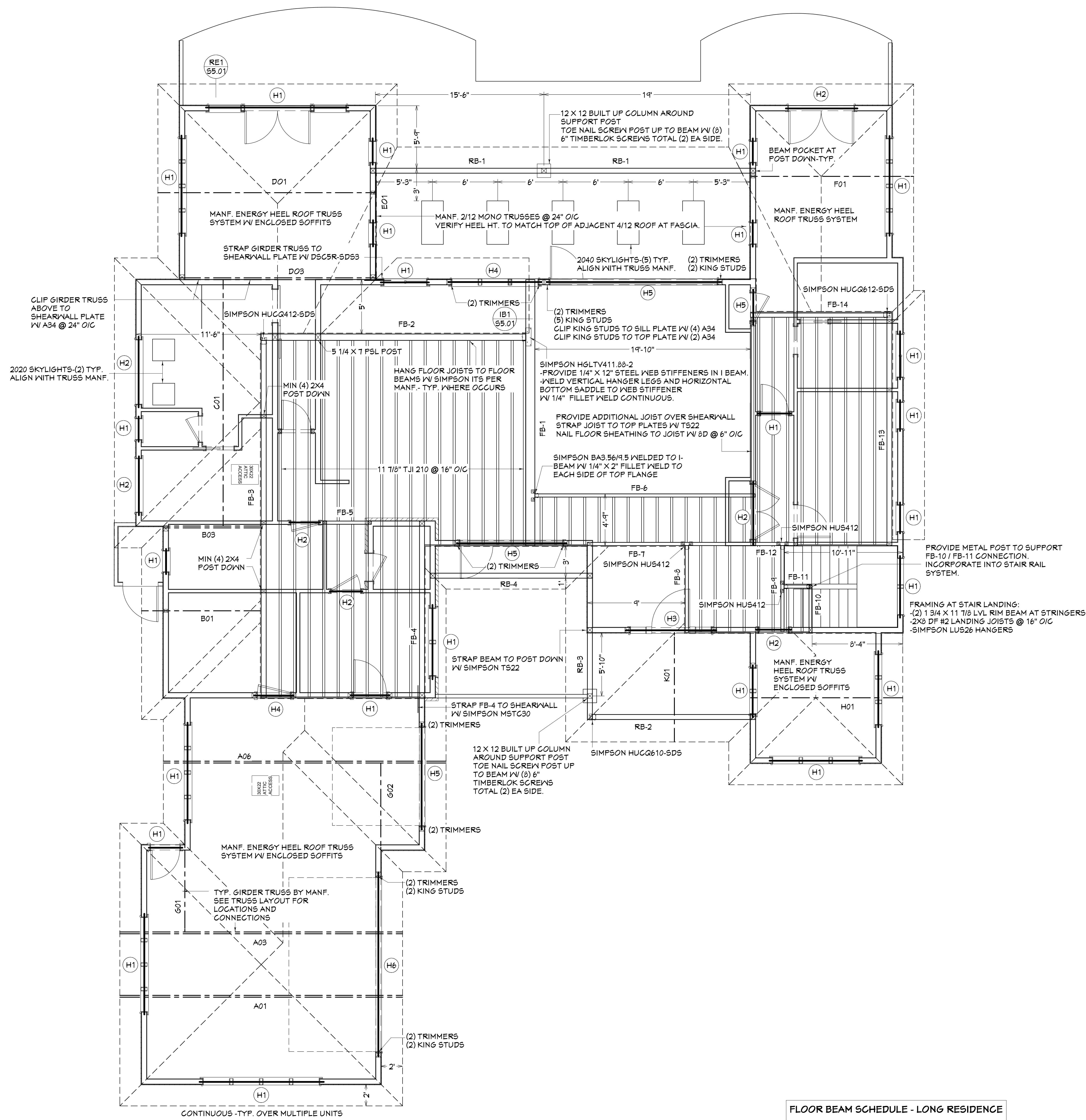
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CCB# 165287

ROB LITTLETON INC.

DATE:
12/28/15

SCALE:
1/4"=1' U.N.O.

SHEET:
A1.04



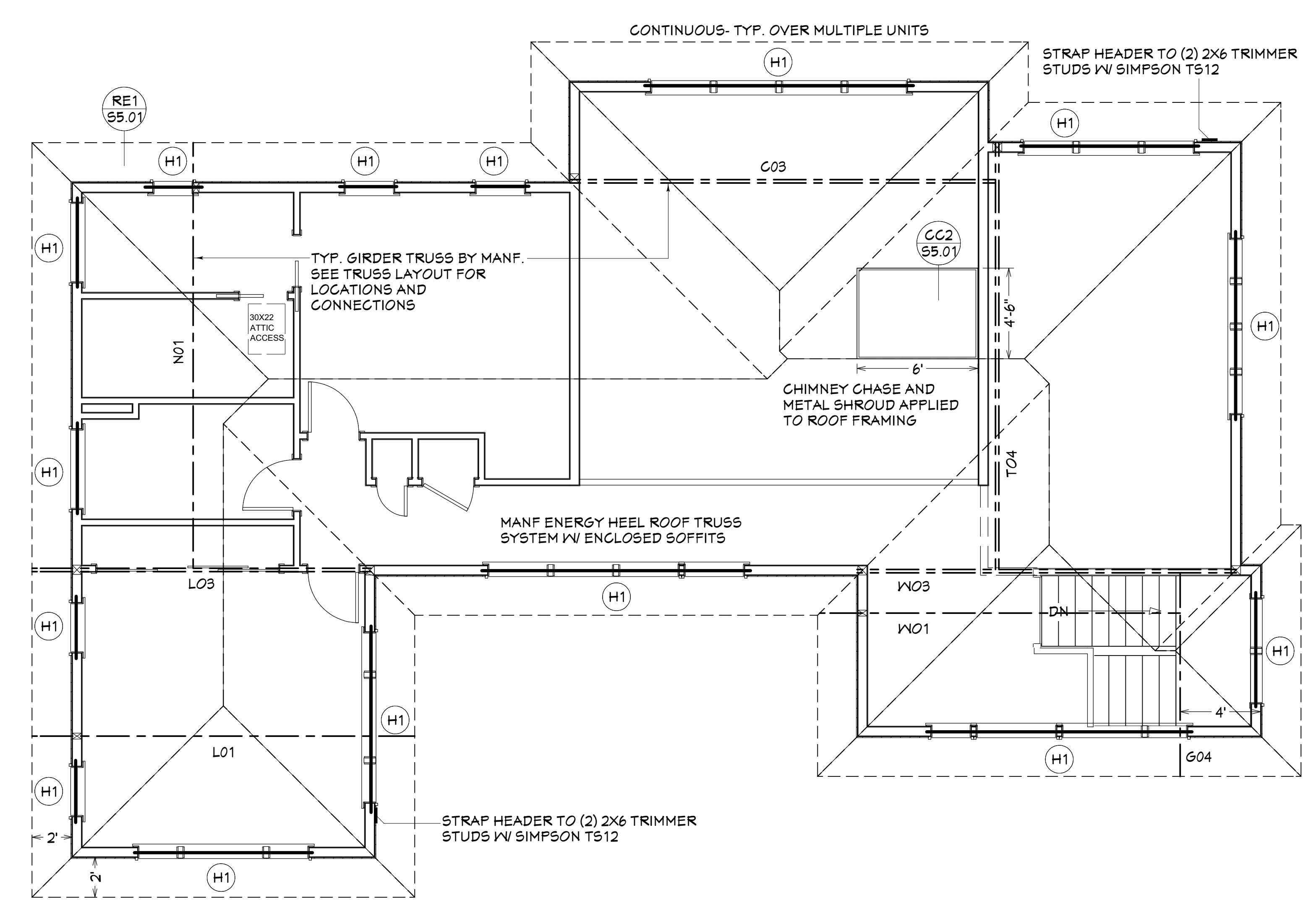
LOWER ROOF AND UPPER FLOOR PLAN

FLOOR BEAM SCHEDULE - LONG RESIDENCE

- FB-1: W10X60 STEEL I-BEAM (PROVIDE 1/2" DIA THREADED STUDS WELDED TO TOP FLANGE @ 24" O/C)
- FB-2: 7 X 11 7/8 PSL
- FB-3: 5 1/4 X 11 7/8 LVL
- FB-4: 5 1/4 X 11 7/8 LVL
- FB-5: (2) 2X8 DF #2
- FB-6: 3 1/2 X 11 7/8 LVL
- FB-7: 5 1/4 X 11 7/8 LVL
- FB-8: 3 1/2 X 11 7/8 LVL
- FB-9: 3 1/2 X 11 7/8 LVL
- FB-10: 3 1/2 X 11 7/8 LVL
- FB-11: 3 1/2 X 11 7/8 LVL
- FB-12: 3 1/2 X 11 7/8 LVL
- FB-13: 3 1/2 X 11 7/8 LVL
- FB-14: 5 1/4 X 11 7/8 LVL

ROOF BEAM SCHEDULE - LONG RESIDENCE

- RB-1: 6X12 DF#1
- RB-2: 6X12 DF#1
- RB-3: 6X12 DF#1
- RB-4: 6X12 DF#1



UPPER ROOF PLAN

HEADER SCHEDULE - LONG RESIDENCE

Mark	Header	Trimmer	King Stud(s)
H1	(2) 2x6 DF #2 (or 4x6 DF #2)	(1) 2x6	(1) 2x6
H2	(2) 2x8 DF #2 (or 4x8 DF #2)	(1) 2x6	(1) 2x6
H3	(2) 2x10 DF #2 (or 4x10 DF #2)	(1) 2x6	(1) 2x6
H4	(2) 2x12 DF #2 (or 4x12 DF #2)	(2) 2x6	(1) 2x6
H5	5-1/2 x 12 1.8E Glulam	(2) 2x6	(1) 2x6 u.n.o.
H6	5-1/2 x 13-1/2 1.8E Glulam	(2) 2x6	(1) 2x6 u.n.o.



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

EXTERIOR FINISH NOTES
 ROOFING - BORAL SLATE CHARCOAL
 ROOFING AT COURTYARD BROWN AND REAR COVERED PATIO
 - TAYLOR METAL GREY STANDING SEAM
 FASCIA - 2 X12 FJ CEDAR, PAINTED SW10012 CLASSIC FRENCH GRAY
 SOFFIT - BRECKENRIDGE R15 CEDAR FACE SHEET SOFFIT, PAINTED SW10012 CLASSIC FRENCH GRAY
 SIDING - 4\"/>

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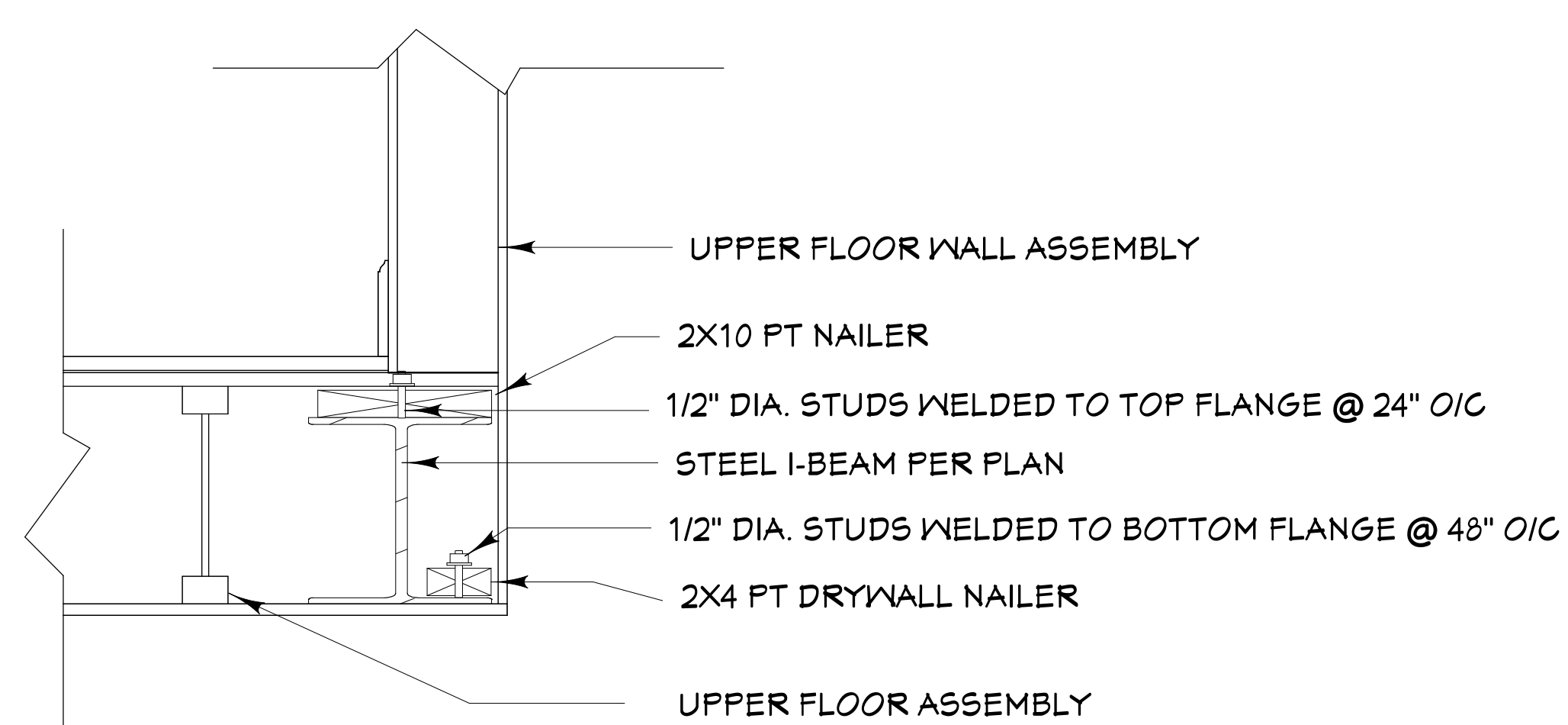
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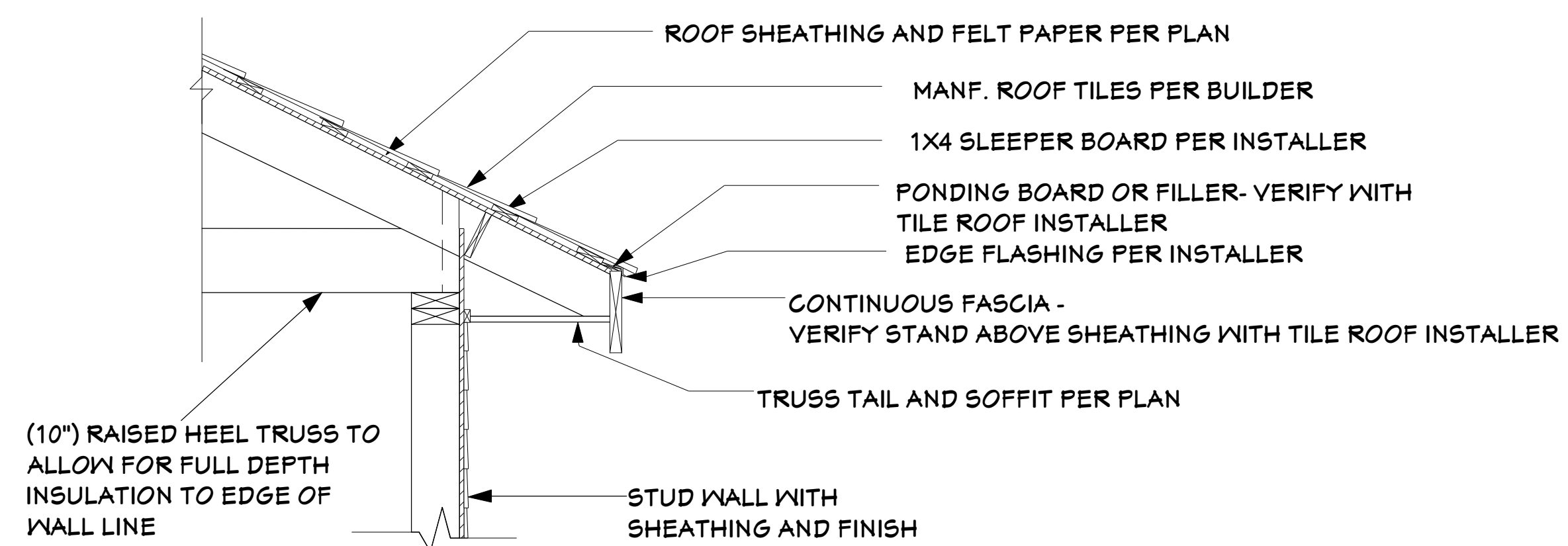
ROB LITTLETON INC.

DATE:	12/28/15
SCALE:	1/4"=1' U.N.O.
SHEET:	A2.01



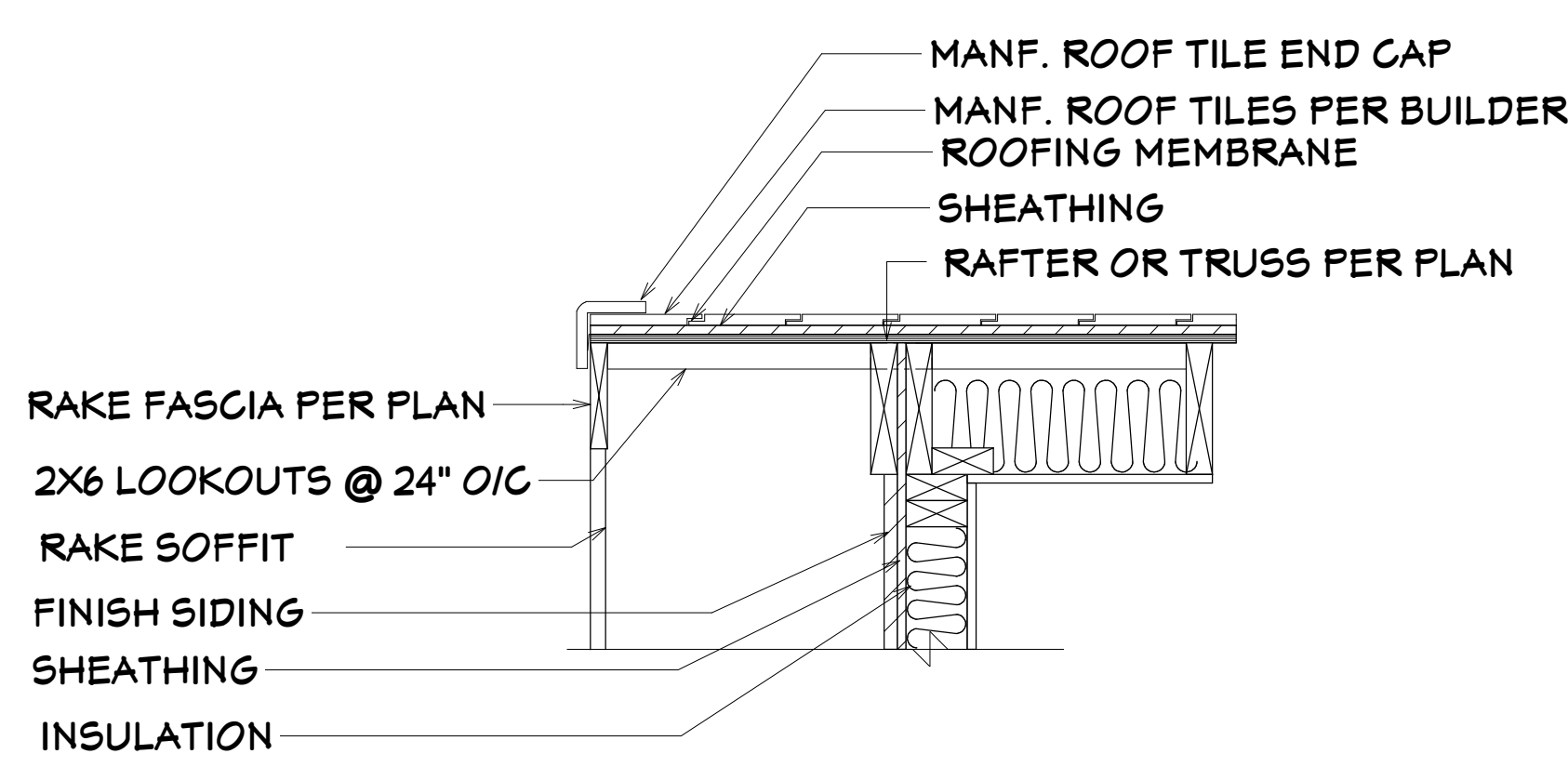
NAILER AT STEEL I-BEAM
1 1/2" = 1'

IB1
S5.01



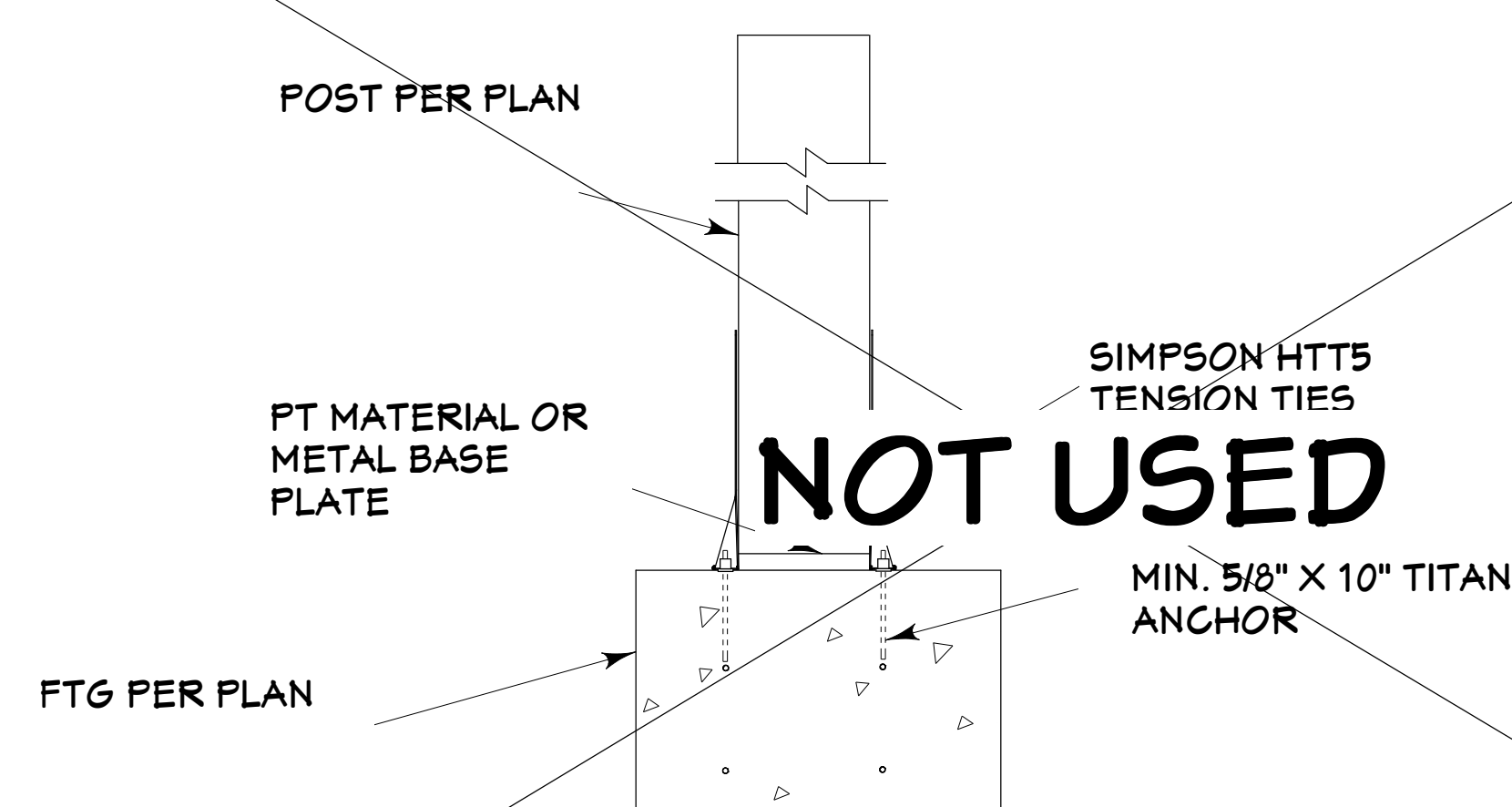
TYP RAISED EAVE DETAIL
3/4" = 1'

RE1
S5.01



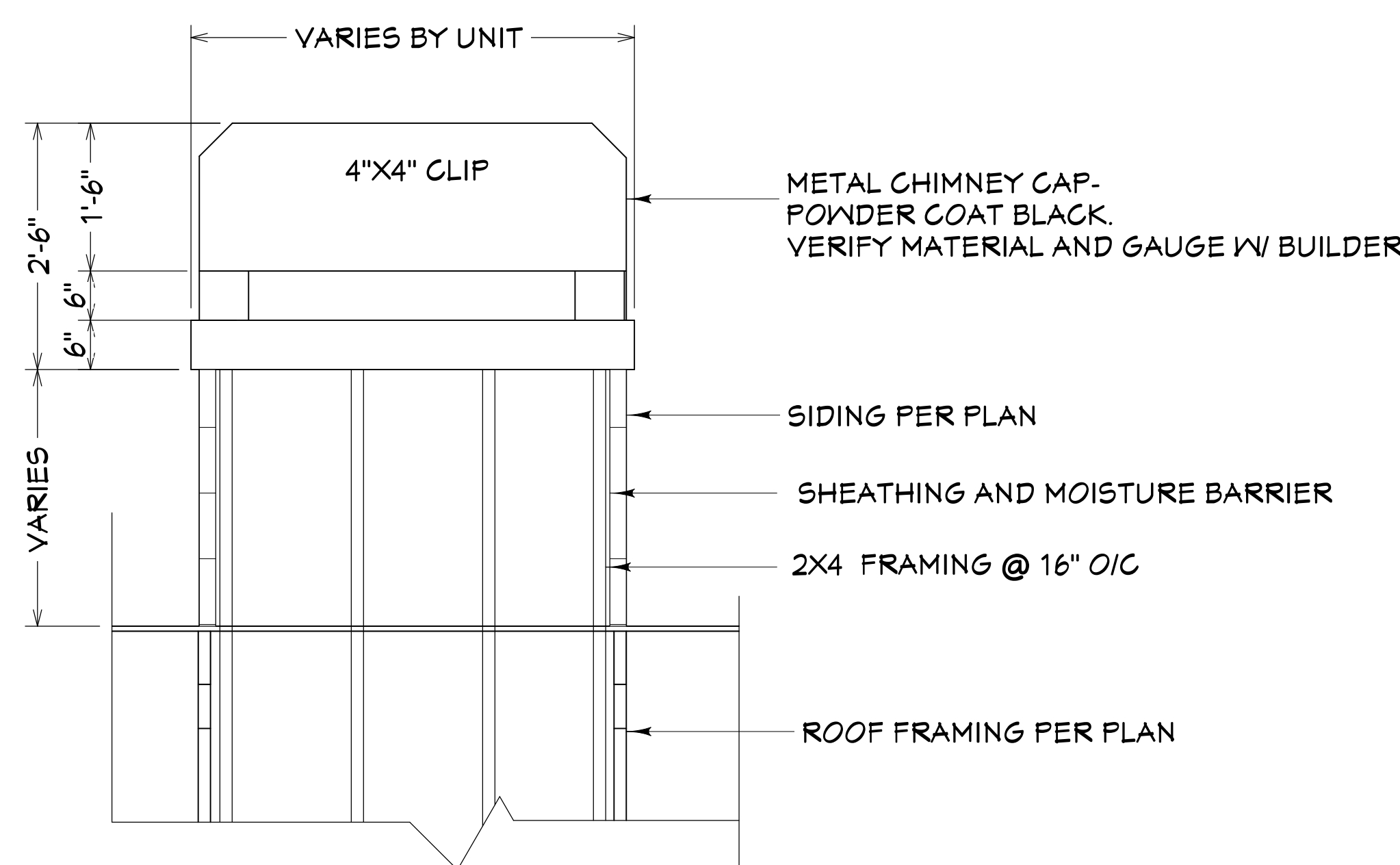
ROOF OVERHANG AT RAKE
3/4" = 1'

RR1
S5.01



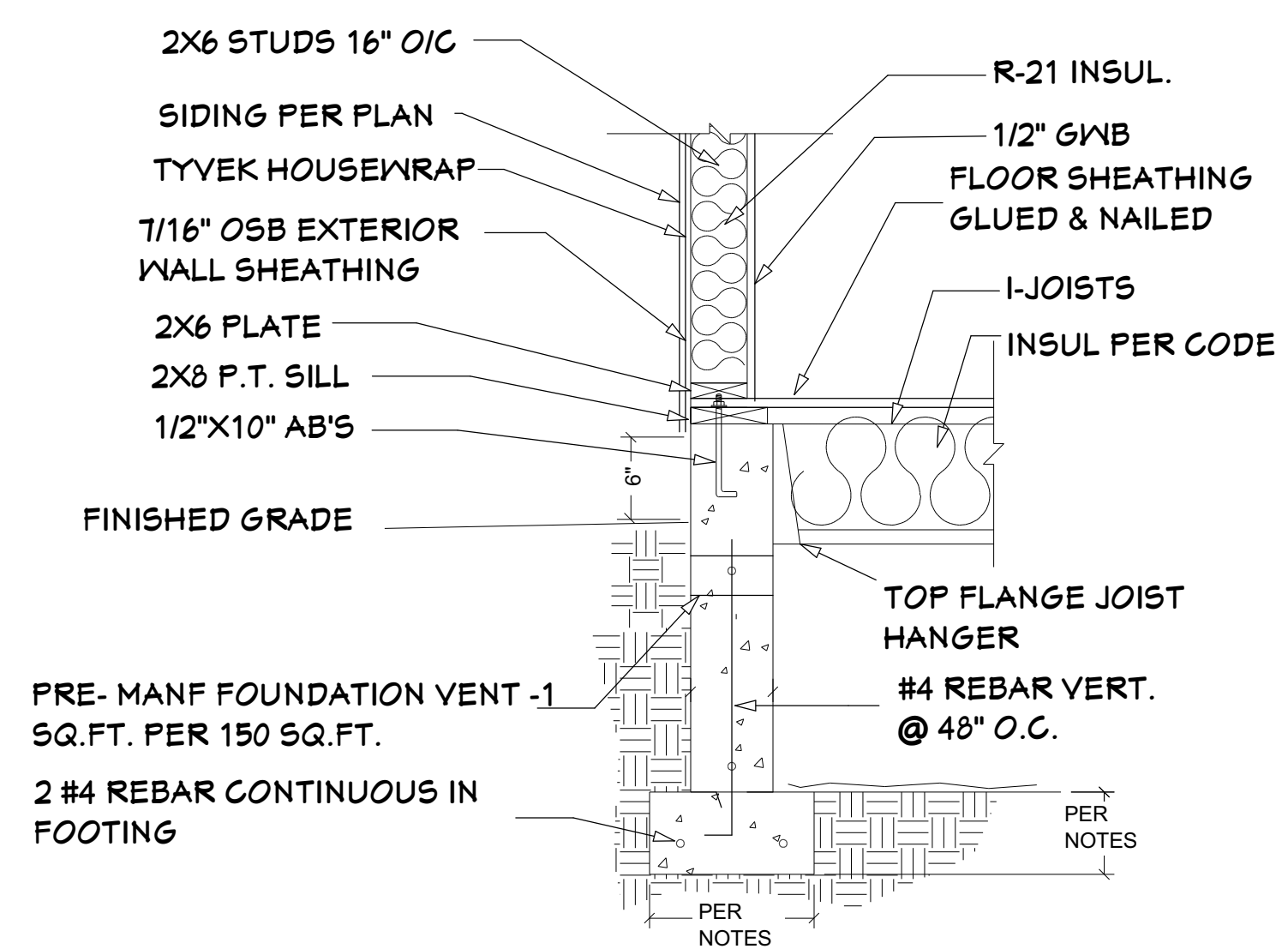
POST TO FOOTING ATTACHMENT
3/4" = 1'

PB1
S5.01



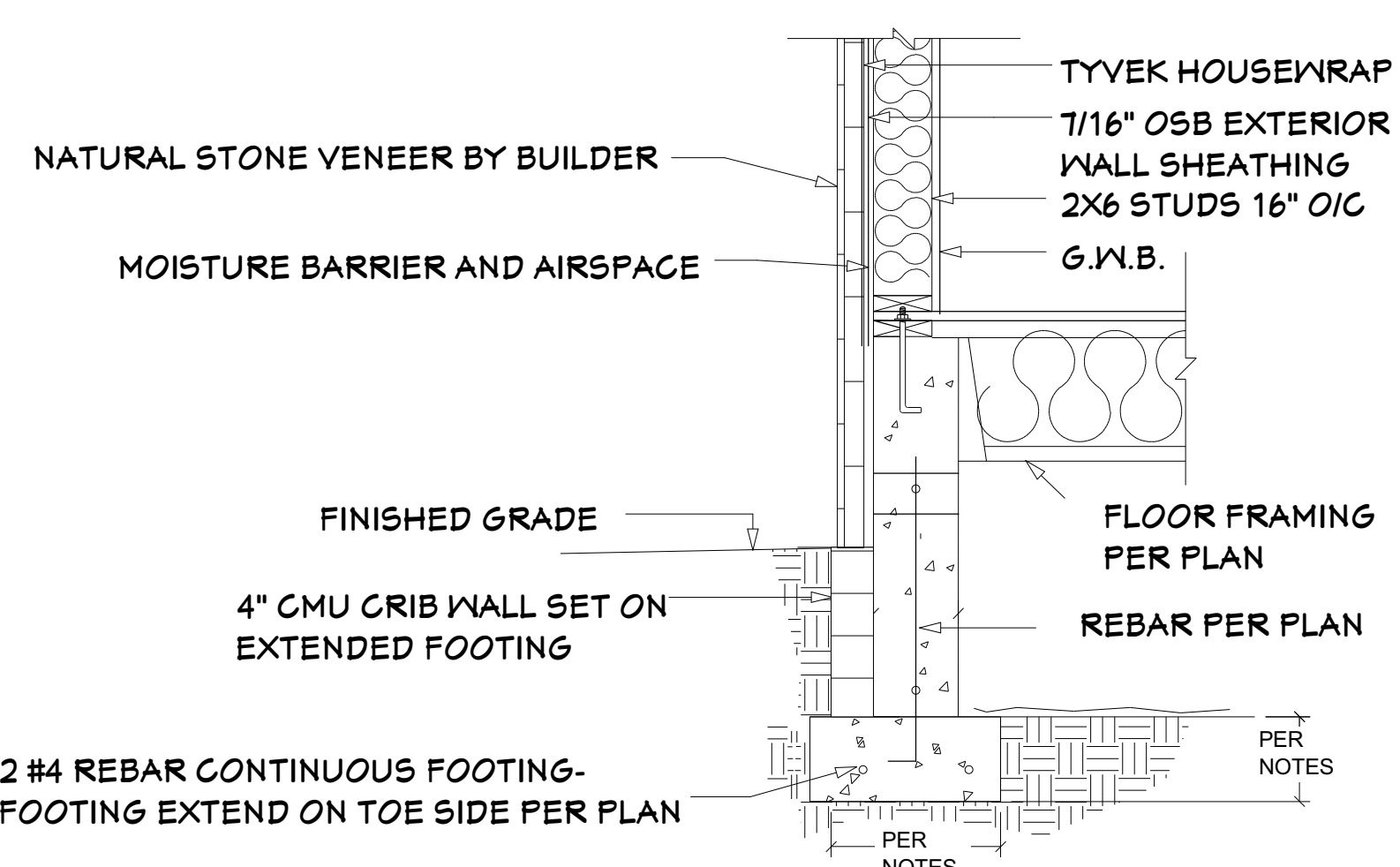
CHIMNEY CHASE AND CAP
3/4" = 1'

CC2
S5.01



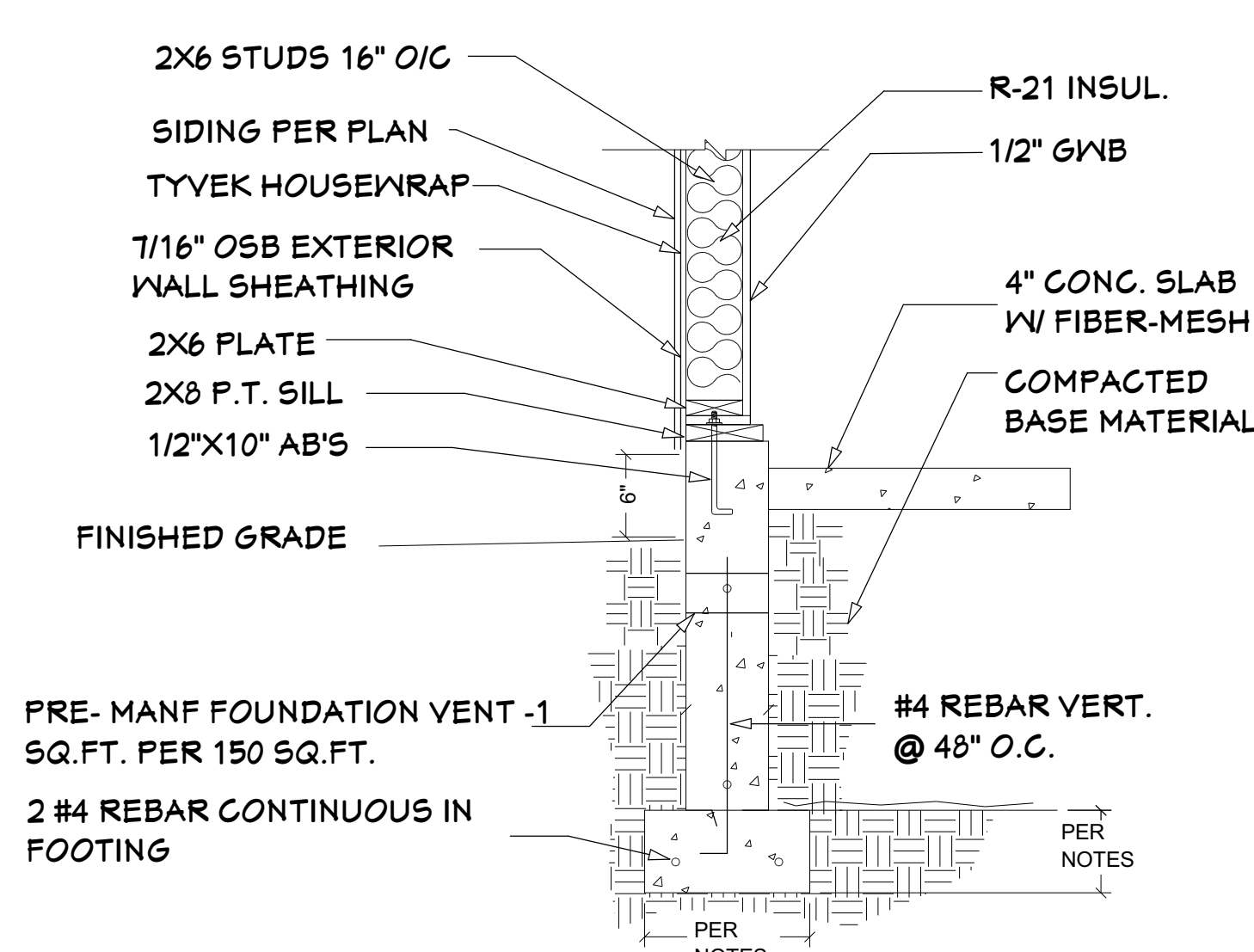
HUNG FLOOR INSIDE FOUNDATION WALL
3/4" = 1'

FD1
S5.01



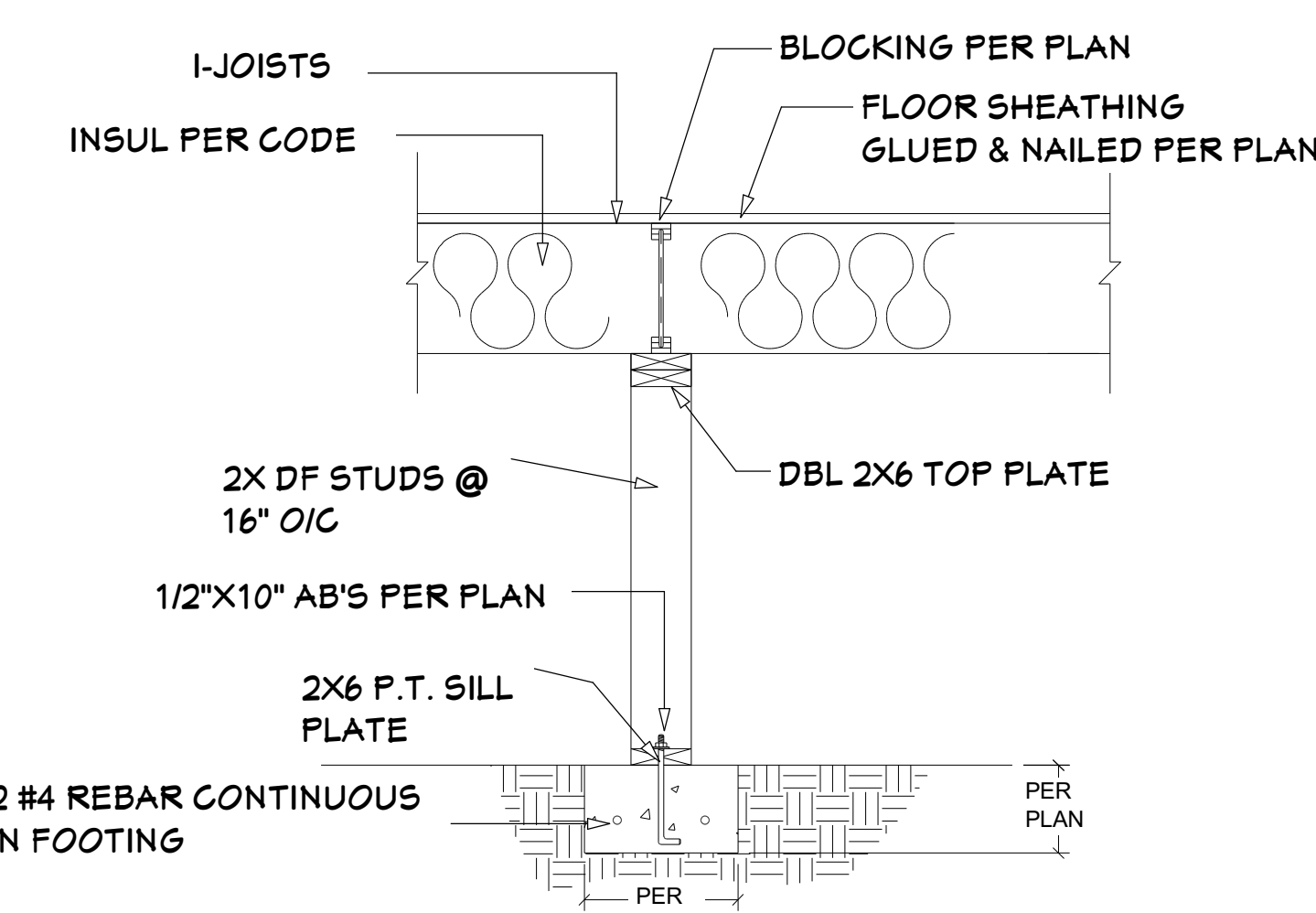
HUNG FLOOR INSIDE FOUNDATION WALL W/ STONE VENEER
3/4" = 1'

FD2
S5.01



FLOOR AT GARAGE SLAB
3/4" = 1'

FD3
S5.01



INTERIOR FOOTING AND FRAME WALL
3/4" = 1'

FD4
S5.01

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SHEET:	S5.01

