

MINIMUM STRUCTURAL DESIGN LOADS

DESIGN LOADS:

SNOW - 25 LBS. + DRIFT
 WIND - 100 MPH
 SEISMIC DESIGN CATEGORY C
 FROST DEPTH - 18 INCHES
 EXPOSURE - B OR C DEPENDING ON AREA

MINIMUM UNIFORM LIVE LOADS

BALCONIES - 60 LBS. SQ.FT.
 DECKS - 40 LBS. SQ.FT.
 FIRE ESCAPES - 40 LBS. SQ.FT.
 GARAGES - 50 LBS. SQ.FT.
 ATTICS (NO STORAGE) - 10 LBS. SQ.FT.
 ATTICS (LIMITED STORAGE) - 20 LBS. SQ.FT.
 ATTICS (SERVED W/ FIXED STAIRS) - 30 LBS. SQ.FT.
 DWELLINGS - 40 LBS. SQ.FT.
 STAIRS - 40 LBS. SQ.FT.
 GUARDRAILS & HANDRAILS 200 LBS. SQ.FT.

ADDITIONAL ENERGY MEASURES PROVIDED.

RESIDENTIAL ENERGY ENVELOPE ENHANCEMENT MEASURE 3:

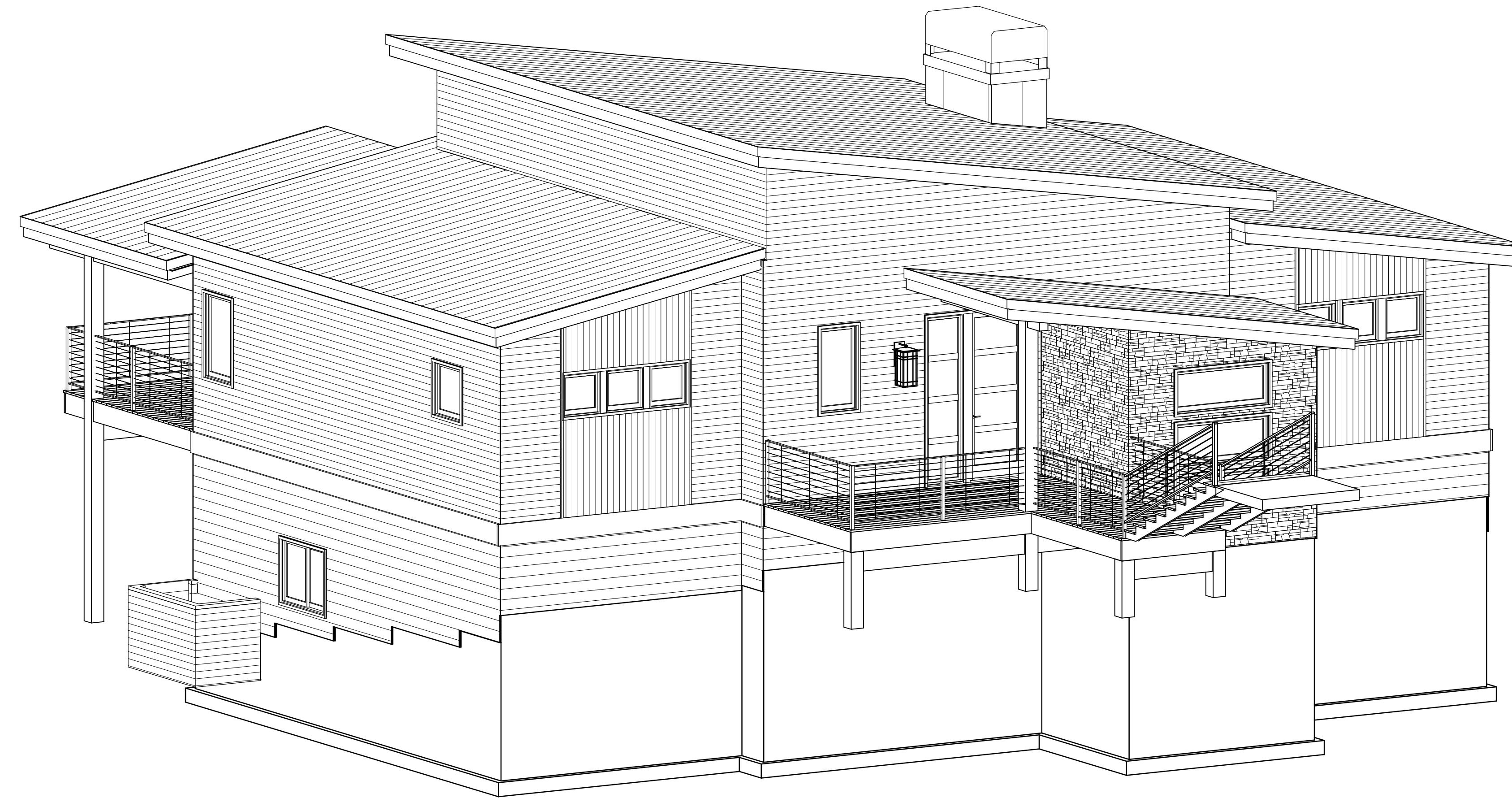
INSULATION:
 FLOORS-
 UNDERFLOOR- R30
 SLAB EDGE PERIMETER- R15
 HEATED SLAB, INTERIOR- R10
 FLOOR ASSEMBLY OVER UNCONDITIONED SPACE- R30
 WALLS-
 ABOVE GRADE- R21
 BELOW GRADE- R19 FOR FRAMED ASSEMBLIES OR R15 CONTINUOUS
 CEILING-
 FLAT- R49 WITH MIN R21 AT EDGE
 SCISSOR TRUSS VAULT- R30
 RAFTER VAULT- R30
 WINDOWS- U0.30, AND PERFORMANCE TESTED DUCT SYSTEM

CONSERVATION MEASURE OPTION A- HIGH EFFICIENCY HVAC SYSTEM
 GAS FIRED FURNACE OR BOILER WITH MINIMUM AFUE OF 90%
 OR AIR-SOURCE HEAT PUMP WITH MINIMUM HSPF OF 8.5
 OR CLOSED LOOP GROUND SOURCE HEAT PUMP WITH MINIMUM COP OR 3.0

GLAZING NOTE:
 ALL GLAZING SHALL CONFORM TO ADDITIONAL ENERGY MEASURES SPECIFIED IN
 ATTACHED ENERGY CHECKLIST

INSULATION NOTE:
 ALL INSULATION SHALL CONFORM TO ADDITIONAL ENERGY MEASURES SPECIFIED IN
 ATTACHED ENERGY CHECKLIST

ROB LITTLETON INC. DOES NOT REPRESENT ITSELF
 AS AN ARCHITECT, ENGINEER OR SURVEYOR. IT IS
 THE SOLE RESPONSIBILITY OF THE OWNER/
 BUILDER TO OBTAIN ALL BUILDING PERMITS AND TO
 VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS
 AND SITE CONDITIONS WITH THEIR CONTRACTOR,
 ENGINEER AND/ OR SURVEYOR PRIOR TO
 CONSTRUCTION.



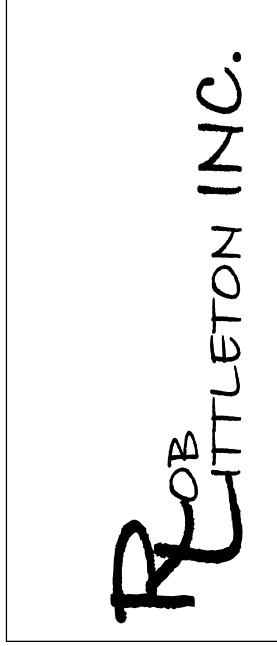
NUMBER	DATE	REV BY	REVISION TABLE DESCRIPTION

PROJECT LOCATION:
 BELL RESIDENCE
 AMBRET VILLAGE - PHASE 6
 LOT 125
 1140 NW REMARKABLE
 BEND OR, 97101

PROJECT FOR:
 SIENNA BUILDING COMPANY
 STEVE MCDONNELL
 541-241-0406
 CGB# 207548

RESIDENTIAL CONSTRUCTION
 AND DESIGN
 541-280-1120 PH
 541-510-1744 FAX
 CGB# 165287

FO BOX 1167
 BEND OR, 97109



DATE:
 7/12/2016

SCALE:
 1/4"=1' U.N.O.

SHEET TITLE:
 COVER SHEET

SHEET:
 A0.01

LAYOUT PAGE TABLE		
NUMBER	LABEL	TITLE
1	A0.01	COVER SHEET
2	A0.02	PLAN NOTES
3	A1.01	SITE PLAN
4	A1.02	DRAINAGE PLAN
5	A1.03	DIM. FLOOR PLANS
6	A1.04	FOUNDATION AND FLOOR FRAMING PLANS
7	A1.05	UPPER ROOF PLAN & BUILDING SECTION
8	A2.01	EXTERIOR ELEVATIONS
9	A2.02	EXTERIOR ELEVATIONS

GENERAL NOTES

GENERAL:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES.
2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE DESIGNER/ENGINEER HARMLESS FOR INJURY OR DEATH TO PERSONS OR FOR DAMAGE TO PROPERTY CAUSED BY NEGLIGENCE OF THE CONTRACTOR, HIS AGENTS, EMPLOYEES OR SUBCONTRACTORS.
3. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ADJACENT WORK AND SHALL REPAIR SAID DAMAGE AT HIS OWN EXPENSE. CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS.
4. CODES: ALL WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES. IN CASE OF CONFLICT WHERE METHODS OR STANDARDS OF INSTALLATION OF THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN. NOTIFY THE DESIGNER OF ALL CONFLICTS.

DIMENSIONS:

1. ALL INFORMATION SHOWN ON THE DRAWINGS, RELATIVE TO THE EXISTING CONDITIONS ARE GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY, THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR CONDITION ADVERSELY AFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE WORK.
2. EXTERIOR DIMENSIONS OF PLANS ARE TO BUILDING GRIDLINES OR FACE OF FRAMING UNLESS NOTED OTHERWISE.
3. INTERIOR DIMENSIONS OF PLANS ARE TO GRIDLINES OR FACE OF FRAMING UNLESS NOTED OTHERWISE.
4. DO NOT SCALE DRAWINGS: THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE PLANS AND ACTUAL FIELD MEASUREMENTS. NOTIFY THE DESIGNER IF DISCREPANCIES ARE FOUND.
5. COORDINATION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND COORDINATION OF THE WORK OF ALL TRADES TO ASSURE COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS.

FIRE PROTECTION:

1. PROVIDE FIRE PROTECTION AT ALL PENETRATIONS OF FIRE RATED ELEMENTS AS REQUIRED BY THE CODE.

CONSTRUCTION:

1. CONTRACTOR SHALL INVESTIGATE AND VERIFY LOCATIONS OF STRUCTURAL, MECHANICAL AND ELECTRICAL ELEMENTS AND OTHER EXISTING CONDITIONS PRIOR TO BEGINNING THE WORK.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WALL BLOCKING FOR ALL WALL AND CEILING MOUNTED ITEMS.
3. THERE SHALL BE NO EXPOSED PIPES, CONDUITS, DUCTS, VENTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED AND FINISHED, UNLESS NOTED AS EXPOSED ON THE CONSTRUCTION DRAWINGS.
4. PROVIDE GALVANIC ISOLATION BETWEEN DISSIMILAR METALS.
5. GENERAL CONTRACTOR IS TO COORDINATE WITH ELECTRICAL AND PLUMBING CONTRACTORS FOR ALL REQUIRED ROUGH-INS AND TRENCHING REQUIRED FOR ELECTRICAL AND PLUMBING RUNS.
6. PROVIDE PRESSURE TREATED WOOD AT ALL LOCATIONS WHERE WOOD IS TO BE EXPOSED TO THE EXTERIOR OR WHERE WOOD COMES INTO CONTACT WITH CONCRETE OR SOIL.

CARPENTRY:

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-100 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. SHEAR WALL SHEATHING SHALL BE LOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R602.3(1).

GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AITC 117. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD. GLULAM HANGERS NOT SHOWN SHALL BE SIMPSON EG. BEAMS SHALL BE VISUALLY GRADED WESTERN SPECIES INDUSTRIAL GRADE, AND OF THE STRENGTH INDICATED BELOW:

DEPTH	COMBINATION SYMBOL	SPECIES	USE
ALL	24F - V4	DF/DF	(SIMPLE SPAN)
ALL	24F - V8	DF/DF	(CONT OR CANTILEVER)

PREMANUFACTURED WOOD JOISTS: PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUS JOIST COMPANY, OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE JOIST MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF JOISTS IN WRITING TO THE ARCHITECT/ENGINEER. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ICB0 APPROVED.

LUMBER SPECIES:

- A. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2
- B. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER
- C. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2.
- D. ALL STUDS TO BE DF#2 OR BETTER.
- E. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
 ROOF SHEATHING SHALL BE 1/2" CDX INT-APA RATED 32/16 OR 7/16" OSB.
 WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB.
 FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.
- F. '1' JOISTS SHALL BE MANUFACTURED BY TRUS JOIST OR ENGINEER APPROVED EQUAL.
- G. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

NAILING NOTES: (PER IRC TABLE R602.3(1)) UNLESS SPECIFIED IN ENGINEERS CALCULATIONS

JOIST TO SILL OR GIRDER SOLE PLATE TO JOIST OR BLK'G STUD TO SOLE PLATE TOP PLATE TO STUD	TOE NAIL (3)-8d FACE NAIL 16d @ 16" OC TOE NAIL (4)-8d, END NAIL (2) 16d END NAIL (2)-16d
DOUBLE STUDS DOUBLE TOP PLATES CONTINUOUS HEADER, TWO PIECES TOP PLATES, LAPS AND INTERSECTIONS	FACE NAIL 16d @ 24" OC FACE NAIL 16d @ 16" OC 16d @ 16" OC ALONG EA. EDGE FACE NAIL (2)-16d
CEILING JOISTS TO PLATE CONTINUOUS HEADER TO STUD CEILING JOISTS TO PARALLEL RAFTERS RAFTER TO PLATE BUILT-UP CORNER STUDS	TOE NAIL (3)-8d TOE NAIL (4)-8d FACE NAIL (3)-10d TOE NAIL (2)-16d 10d @ 24" OC
PLYWOOD -OSB ROOF AND WALL SHEATHING	EDGES 8d @ 6" OC INTERMEDIATE 8d @ 12" OC (U.N.O. IN ENG.)
PLYWOOD SUBFLOOR	EDGES 8d @ 6" OC INTERMEDIATE 8d @ 12" OC

GENERAL PLUMBING & HVAC NOTES:

HVAC SHALL BE ZONED WHERE APPLIES

THE HEAT SOURCE SHALL CONFORM TO THE SPECIFICATIONS SET FORTH IN THE ADDITIONAL ENERGY MEASURES SUPPLIED FOR THIS PROJECT

METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND.

DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER.

ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.

TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F.

A MINIMUM OF ONE EXTERIOR HOSE BIB SHALL BE SUPPLIED. CONFIRM WITH BUILDER

HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED AS REQUIRED BY THE ENERGY MEASURES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 10" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

SITE NOTES

SITE INFORMATION PROVIDED BY COUNTY TAX MAP AND OWNER VERIFICATION. ALL SITE CONDITIONS TO BE VERIFIED PRIOR TO CONSTRUCTION

ALL SETBACKS, EASEMENTS AND CG&R REQUIREMENTS TO BE VERIFIED PRIOR TO CONSTRUCTION

FINAL SITING OF THE DWELLING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR

ALL HARDSCAPE DRAINAGE TO BE DIRECTED TO LANDSCAPE DRAINAGE CONTAINMENT OR CITY DRYWELL OR STORM WATER COLLECTION WHERE APPLICABLE

CONFIRM ALL UTILITIES AND TRENCH LOCATIONS WITH CONTRACTOR PRIOR TO CONSTRUCTION

PROVIDE EROSION CONTROL AND SILT FENCING AT PROJECT PERIMETER

GRADING NOTES:

CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.

PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.

FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES.

DRAINAGE CONTAINMENT CALCULATIONS SHALL BE LISTED ON THE SITE DRAWINGS AND BASED ON LOCAL CODE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.

PLACE FILL SLOPES WITH A GRADIENT STEEPER THAT 3:1 IN LIFTS NOT TO EXCEED 12 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

FOUNDATION NOTES

ANCHOR BOLTS TO BE SPACED AT 48" O.C. MAX U.N.O ON SHEAR WALL PLAN.

ENGINEERED RETAINING WALLS MAY BE REQUIRED @ ALL LOCATIONS WHERE THE DISTANCE FROM FOOTING TO THE TOP OF THE MATERIAL BEING RETAINED IS EQUAL TO OR GREATER THAN 4' OR IF THERE IS A SURCHARGE ON THE WALL. (I.E.- SLOPING HILL, DRIVEWAY OR GARAGE SLAB ABOVE)

CONTRACTOR TO VERIFY PLAN TO ACTUAL SITE CONDITIONS AND CONTACT ENGINEER IF RETAINING WALLS ARE REQUIRED.

STEP FOOTING AND STEM WALL AS REQUIRED BY GRADE.

PROVIDE CLOSEABLE FOUNDATION VENTS (1 PER 150 SQ')

PROVIDE 6 MIL VAPOR BARRIER @ CRAWL SPACE.

TYP FOUNDATION WALL AT 1 STORY CONSTRUCTION TO BE 24"X 6" CONC. WALL WITH (2) #4 BAR HORIZ. CONT. AND (1) #4 BAR VERT @ 48" O/C .

TYP FOUNDATION WALL AT 2 STORY CONSTRUCTION TO BE 24"X 8" CONC. WALL WITH (2) #4 BAR HORIZ. CONT. AND (1) #4 BAR VERT @ 48" O/C .

FOR 36" H WALL PROVIDE (3) #4 BAR HORIZ. CONT. AND (1) #4 BAR VERT @ 24" O/C. FOR 48" H WALL PROVIDE (4) #4 BAR HORIZ. CONT. AND (1) #4 BAR VERT @ 24" O/C.

TYP STRIP FOOTING AT 1 STORY FOUNDATION WALL TO BE 12"X 6" D CONC FOOTING WITH (2) #4 BAR CONT.

TYP STRIP FOOTING AT 2 STORY FOUNDATION WALL TO BE 16"X 8" D CONC FOOTING WITH (2) #4 BAR CONT.

FLOOR FRAMING NOTES

AT LOWER FLOOR USE 3/4" T&G PLYWOOD OR 3/4" EDGE GOLD SUBFLOOR OVER 9 1/2" I JOISTS.

AT UPPER FLOOR USE 3/4" T&G PLYWOOD OR 3/4" EDGE GOLD SUBFLOOR OVER 11 7/8" I JOISTS.

GLUE AND NAIL W 8D NAILS @ 6" O.C. EDGES & 12" FIELD U.N.O.

SEE MANUFACTURERS PLAN FOR SPACING & TYPE.

WHERE TOP OF FLOOR BEAMS ARE EVEN WITH TOP OF JOISTS PROVIDE APPROPRIATE SIMPSON TOP FLANGE OR FACE MOUNT HANGER.

NAIL RIM BOARD TO SILL PLATE @ 4" O.C. U.N.O. IN ENGINEERS CALCULATIONS

WALL FRAMING NOTES

STRUCTURAL CONNECTORS TO BE SIMPSON (OR EQ.) INSTALLED WITH MAX. NAILING. USE GALVANIZED NAILS WHERE EXPOSED TO WEATHER.

ALL EXTERIOR WALLS TO BE 2X6 #2 DF STUDS @ 16" O.C. W 7/16" O.S.B. OR SIM. INSTALLED W 8D NAILS @ 6" O.C. EDGES & 12" FIELD U.N.O.

ALL INTERIOR WALLS TO BE 2X4 #2 DF STUDS @ 16" O.C.

TYP. HEADER 4X8 #2 DF U.N.O.

TYP. HEADER BEARING SUPPORT: (1) 2X TRIMMER & (1) 2X KING STUD U.N.O. PLACE DBL TRIMMERS @ HEADERS OVER 10" IN DEPTH OR OPENINGS GREATER THAN 8" IN WIDTH.

PROVIDE FULL WIDTH 2X BEARING UNDER ALL BEAM SUPPORT POINTS TO FOUNDATION U.N.O.

REFERENCE PLANS FOR BEAM SIZES OR STRUCTURAL CONNECTIONS NOT DEFINED HERE.

REFERENCE PLANS FOR ADDITIONAL ENGINEERS SPECIFICATIONS.

ALL FRAMING AND FASTENING SHALL COMPLY TO THE MOST CURRENT LOCAL BUILDING CODES.

ROOF FRAMING NOTES

TYP. ROOF FRAMING WILL BE MANUFACTURED TRUSSES @ 24" O.C. OR #2 D.F. RAFTERS @ 24" O.C. (U.N.O)

TYP HEADER TO BE 4X8 6DF UNO ON HEADER SCHEDULE.

TRUSS MANUFACTURER TO PROVIDE ALL DRAWINGS AND ENGINEERING FOR TRUSSES.

TRUSS MANUFACTURER TO SPECIFY ALL CONNECTIONS AND HANGERS.

INSTALL ALL PERMANENT BRACING AS PER ENGINEERED TRUSSES DRAWINGS.

OVERFRAME IN DESIGNATED AREAS W 2X6 #2 D.F. (SUPPORT TO MAIN ROOF FRAMING @ 48" O.C. MAX.)

SHEATHING TO BE 7/16" OSB OR EQ. NAILED @ 6" EDGES & 12" FIELD.

PROVIDE 2 COURSES OF ICE DAM PROTECTION MIN AT ROOF PERIMETER

30# ROOFING FELT & COMPOSITION SHINGLES.

PROVIDE ROOF VENTING PER CODE.

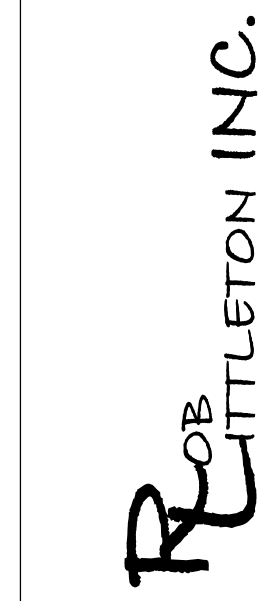
ARCHITECTURAL REVIEW DRAWINGS

NUMBER	DATE	REV BY	DESCRIPTION

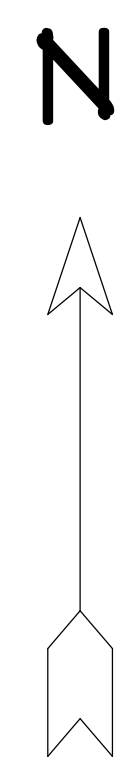
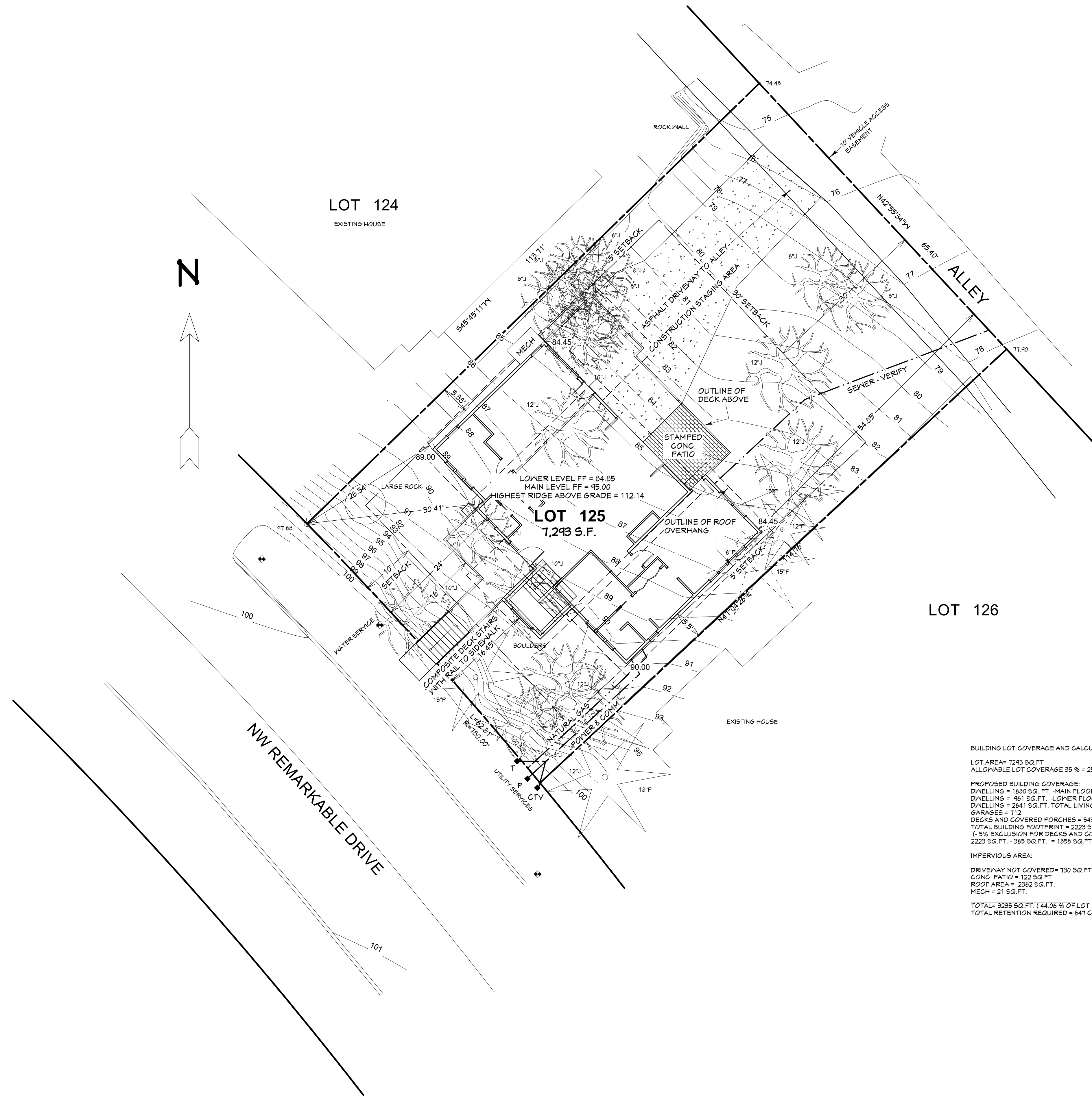
PROJECT LOCATION:
 BELL RESIDENCE
 ANBRET VILLAGE - PHASE 6
 LOT 125
 1140 NW REMARKABLE
 BEND OR, 971101

PROJECT FOR:
 SIENNA BUILDING COMPANY
 STEVE MCDONNELL
 541-241-0406
 1140 NW REMARKABLE
 BEND OR, 971101

RESIDENTIAL CONSTRUCTION AND DESIGN
 541-280-1120 PH
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 CG#B 165287
 FO BOX T167
 BEND OR, 97109



DATE:
7/12/2016
SCALE:
1/4"=1' U.N.O.
SHEET TITLE: PLAN NOTES
SHEET: A0.02



BUILDING LOT COVERAGE AND CALCULATIONS:
 LOT AREA = 1243 SQ. FT.
 ALLOWABLE LOT COVERAGE 35% = 2552 SQ. FT.

PROPOSED BUILDING COVERAGE:
 DWELLING = 1850 SQ. FT. - MAIN FLOOR
 DWELLING = 961 SQ. FT. - LOWER FLOOR
 DWELLING = 2641 SQ. FT. TOTAL LIVING
 GARAGES = 712
 TOTAL BUILDING FOOTPRINT = 2223 SQ. FT.
 (- 5% EXCLUSION FOR DECKS AND COVERED PORCHES = 365 SQ. FT.)
 2223 SQ. FT. - 365 SQ. FT. = 1958 SQ. FT. = 25.41 %

IMPERVIOUS AREA:
 DRIVENWAY NOT COVERED = 730 SQ. FT.
 CONC. PATIO = 122 SQ. FT.
 ROOF AREA = 2362 SQ. FT.
 MECH = 21 SQ. FT.

TOTAL = 5235 SQ. FT. (44.06% OF LOT)
 TOTAL RETENTION REQUIRED = 641 CUBIC FEET

- LEGEND**
- PROPERTY LINE
 - - - BUILDING SETBACKS
 - CURB
 - EDGE OF PAVEMENT
-
- WATER METER
 - P POWER RISER
 - CTY CATV RISER
 - T TELEPHONE RISER
 - 100.00 FOUND 5/8" REBAR NYLLEON PLASTIC CAP MARKED "44" ASSUMED ELEVATION NOTED
 - 100.00 FOUND 5/8" REBAR NYLLEON PLASTIC CAP MARKED "45" ASSUMED ELEVATION NOTED
 - ★ 16" P PINE TREE TRUNK DIAMETER NOTED
 - ★ 12" J JUNIPER TREE TRUNK DIAMETER NOTED
 - ★ 16" P PINE TREE TO BE REMOVED TRUNK DIAMETER NOTED
 - ★ 12" J JUNIPER TREE TO BE REMOVED TRUNK DIAMETER NOTED

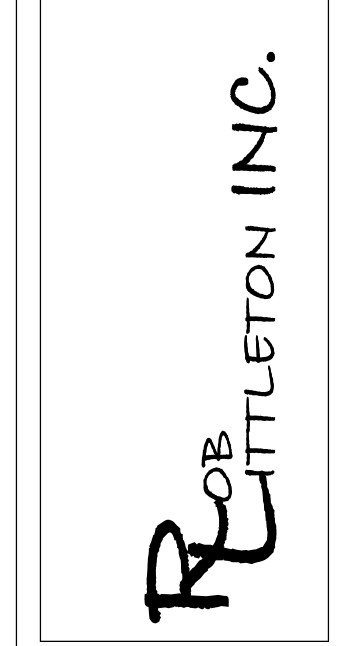
THIS IS NOT A BOUNDARY SURVEY. THE MONUMENTS SHOWN ARE FOR REFERENCE ONLY.
 ELEVATIONS ARE ASSUMED AND REFERENCED PER THE ELEVATIONS SHOWN ON THE FOUND PROPERTY CORNERS.
 ALL PROPERTY LINE AND EASEMENT DATA IS SHOWN PER THE PLAT MAP OF AMBREY VILLAGE, PHASE 61 RECORDED IN DESSAUTES COUNTY SURVEY RECORDS AS CS15301 & RECORD OF SURVEY BY NORTH 45 WEST RECORDED AS CS18141.

NUMBER	DATE	REV BY	DESCRIPTION

PROJECT LOCATION:
 BELL RESIDENCE
 AMBREY VILLAGE - PHASE 6
 LOT 125
 1140 NW REMARKABLE
 BEND OR, 971101

PROJECT FOR:
 SIENNA BUILDING COMPANY
 STEVE MCDONNELL
 541-241-0406
 CGB# 207548

RESIDENTIAL CONSTRUCTION AND DESIGN
 FO BOX 1167
 541-250-1120 PH
 541-510-1744 FAX
 BEND OR, 97109
 CGB# 165287



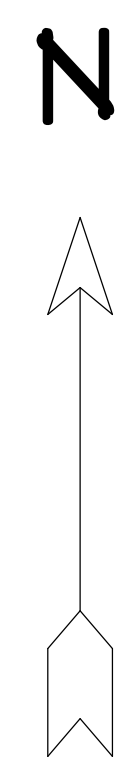
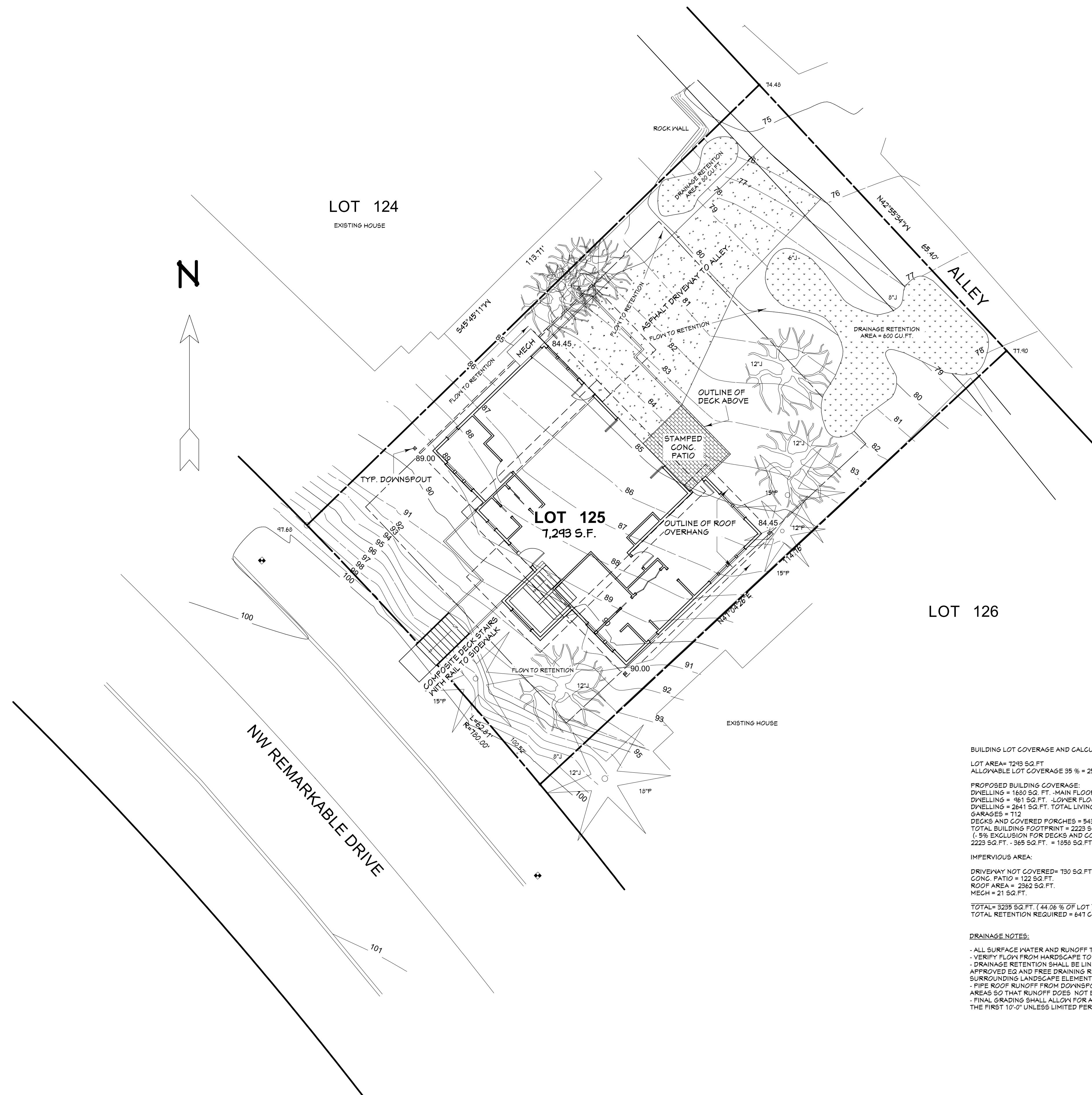
DATE: 7/12/2016

SCALE: 1/4"=1' U.N.O.

SHEET TITLE: SITE PLAN

SHEET: A1.01

SITE PLAN 1"=10'



BUILDING LOT COVERAGE AND CALCULATIONS:
 LOT AREA = 1243 SQ. FT.
 ALLOWABLE LOT COVERAGE 58% = 2552 SQ. FT.

PROPOSED BUILDING COVERAGE:
 DWELLING = 1850 SQ. FT. - MAIN FLOOR
 DWELLING = 961 SQ. FT. - LOWER FLOOR
 DWELLING = 2641 SQ. FT. TOTAL LIVING
 GARAGES = 712
 DECKS AND COVERED PORCHES = 543 SQ. FT.
 TOTAL BUILDING FOOTPRINT = 2223 SQ. FT.
 (- 5% EXCLUSION FOR DECKS AND COVERED PORCHES = 365 SQ. FT.)
 2223 SQ. FT. - 365 SQ. FT. = 1858 SQ. FT. = 25.41 %

IMPERVIOUS AREA:
 DRIVEWAY NOT COVERED = 730 SQ. FT.
 CONC. PATIO = 122 SQ. FT.
 ROOF AREA = 2562 SQ. FT.
 MECH = 21 SQ. FT.

TOTAL = 5285 SQ. FT. (44.06% OF LOT)
 TOTAL RETENTION REQUIRED = 641 CUBIC FEET

DRAINAGE NOTES:

- ALL SURFACE WATER AND RUNOFF TO BE CONTAINED ON SITE
- VERIFY FLOW FROM HARDSCAPE TO DRAINAGE RETENTION AREAS
- DRAINAGE RETENTION SHALL BE LINED WITH FILTER FABRIC OR APPROVED EG AND FREE DRAINING RIVER ROCK TO BLEND WITH SURROUNDING LANDSCAPE ELEMENTS
- PIPE ROOF RUNOFF FROM DOWNSPOUTS OR CHAINS TO RETENTION AREAS SO THAT RUNOFF DOES NOT ERODE FINISH GRADE AT EAVE
- FINAL GRADINGS SHALL ALLOW FOR A MINIMUM OF 6" OF FLOW WITHIN THE FIRST 10'-0" UNLESS LIMITED PER SITE CONDITIONS

LEGEND

	PROPERTY LINE
	BUILDING SETBACKS
	CURB
	EDGE OF PAVEMENT

	WATER METER
	POWER RISER
	CATV RISER
	TELEPHONE RISER
	FOUND 5/8" REBAR NYLLETON PLASTIC CAP MARKED "100" ASSUMED ELEVATION NOTED
	FOUND 5/8" REBAR NYLLETON PLASTIC CAP MARKED "100" ASSUMED ELEVATION NOTED
	16" PINE TREE TRUNK DIAMETER NOTED
	12" J UNIPER TREE TRUNK DIAMETER NOTED
	16" PINE TREE TO BE REMOVED TRUNK DIAMETER NOTED
	12" J UNIPER TREE TO BE REMOVED TRUNK DIAMETER NOTED

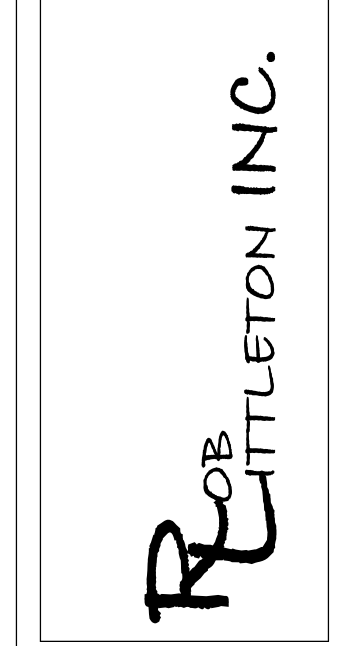
THIS IS NOT A BOUNDARY SURVEY. THE MONUMENTS SHOWN ARE FOR REFERENCE ONLY.
 ELEVATIONS ARE ASSUMED AND REFERENCED PER THE ELEVATIONS SHOWN ON THE FOUND PROPERTY CORNERS.
 ALL PROPERTY LINE AND EASEMENT DATA IS SHOWN PER THE PLAT MAP OF AMBURY VILLAGE, PHASE 61 RECORDED IN DESSAUTES COUNTY SURVEY RECORDS AS CS15301 & RECORD OF SURVEY BY NORTH 45 WEST RECORDED AS CS18141.

NUMBER	DATE	REV BY	DESCRIPTION

PROJECT LOCATION:
 BELL RESIDENCE
 AMBURY VILLAGE - PHASE 6
 LOT 125
 1140 NW REMARKABLE
 BEND OR, 971101

PROJECT FOR:
 SIENNA BUILDING COMPANY
 STEVE McDONNELL
 541-241-0406
 CCB# 207548

RESIDENTIAL CONSTRUCTION AND DESIGN
 FO BOX 1167
 541-250-1120 PH
 541-510-1744 FAX
 BEND OR, 971109
 CCB# 165287



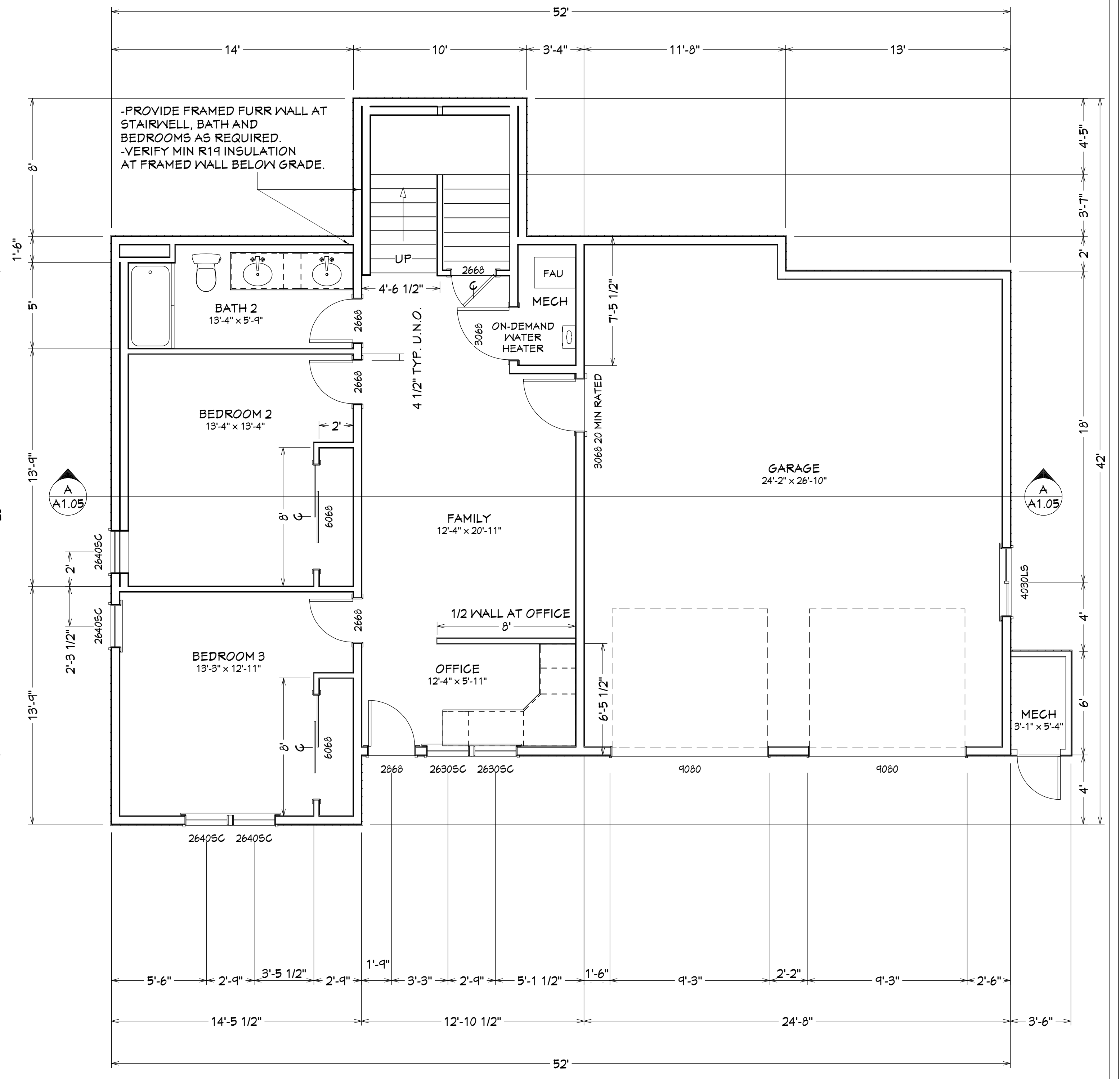
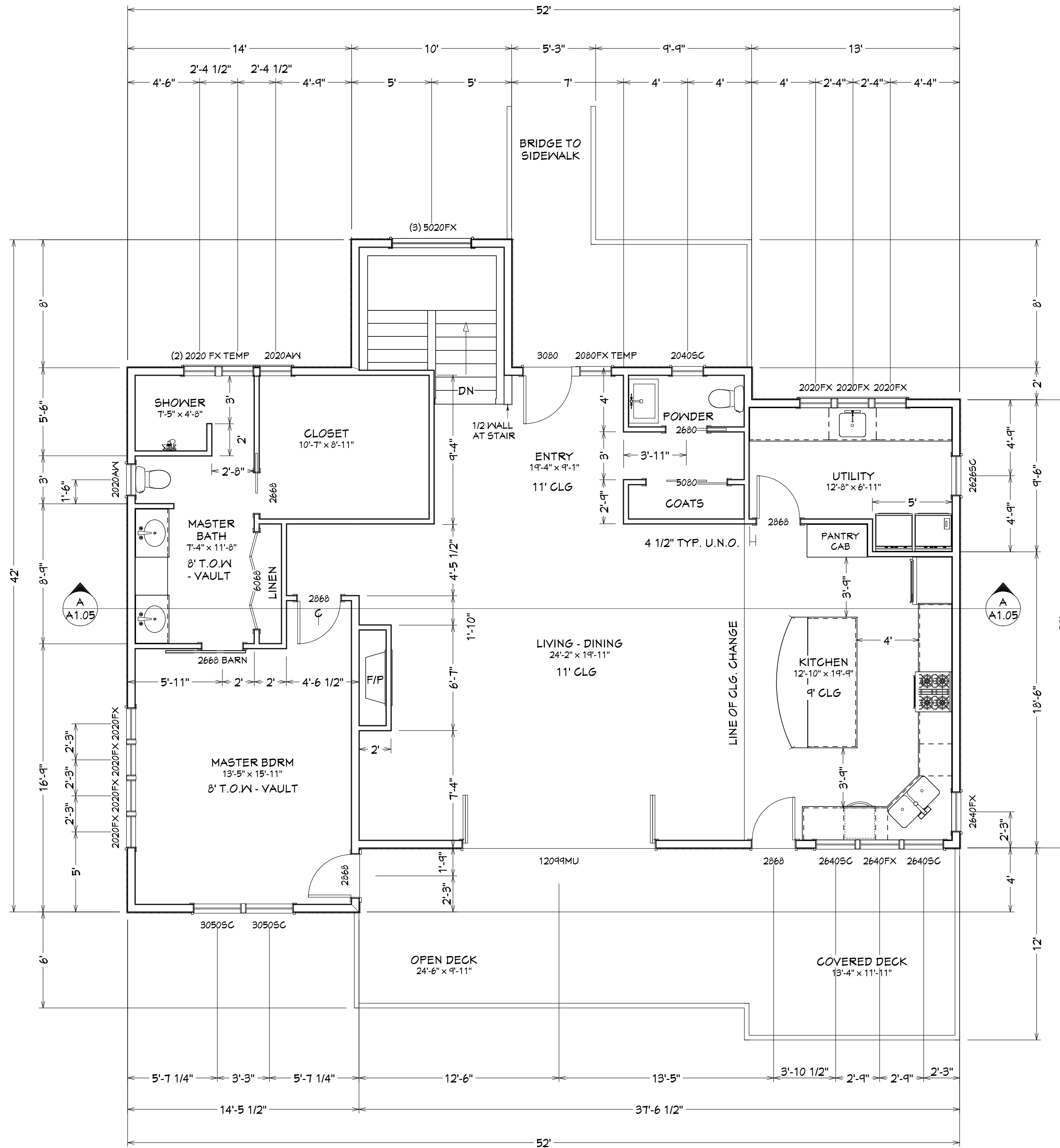
DATE: 7/12/2016

SCALE: 1/4"=1' U.N.O.

SHEET TITLE: DRAINAGE PLAN

SHEET: A1.02

DRAINAGE PLAN 1"=10'



NUMBER	DATE	REV BY	DESCRIPTION

PROJECT LOCATION:
 BELL RESIDENCE - PHASE 6
 ANBRET VILLAGE
 LOT 125
 1190 NW REMARKABLE
 BEND OR, 97101

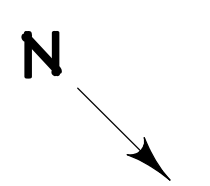
PROJECT FOR:
 SIENNA BUILDING COMPANY
 STEVE MCDONNELL
 541-241-0406
 CGB# 207548

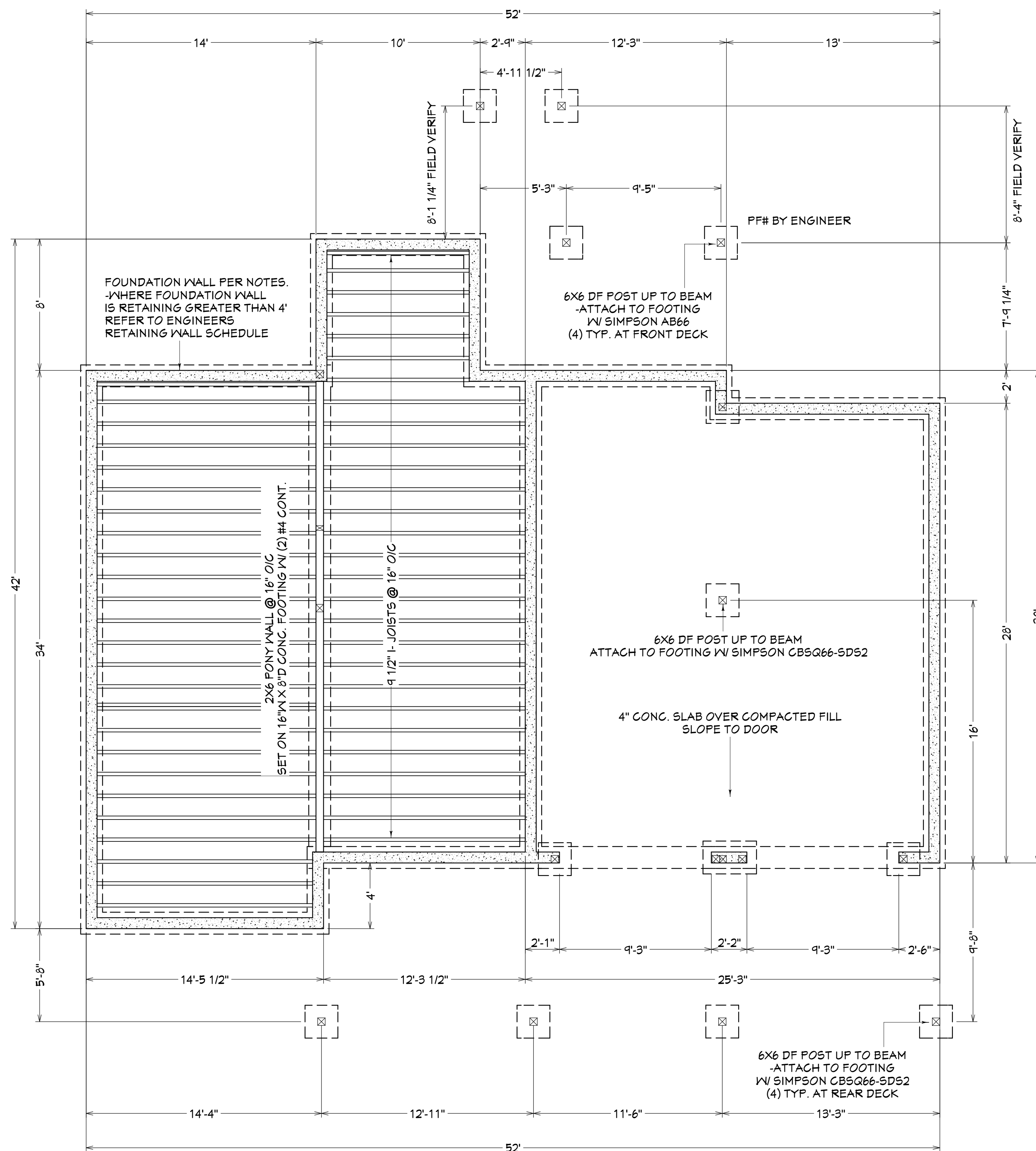
RESIDENTIAL CONSTRUCTION AND DESIGN
 541-280-1120 PH
 541-610-1744 FAX
 CGB# 165287

FO BOX 1167
 BEND OR, 97708

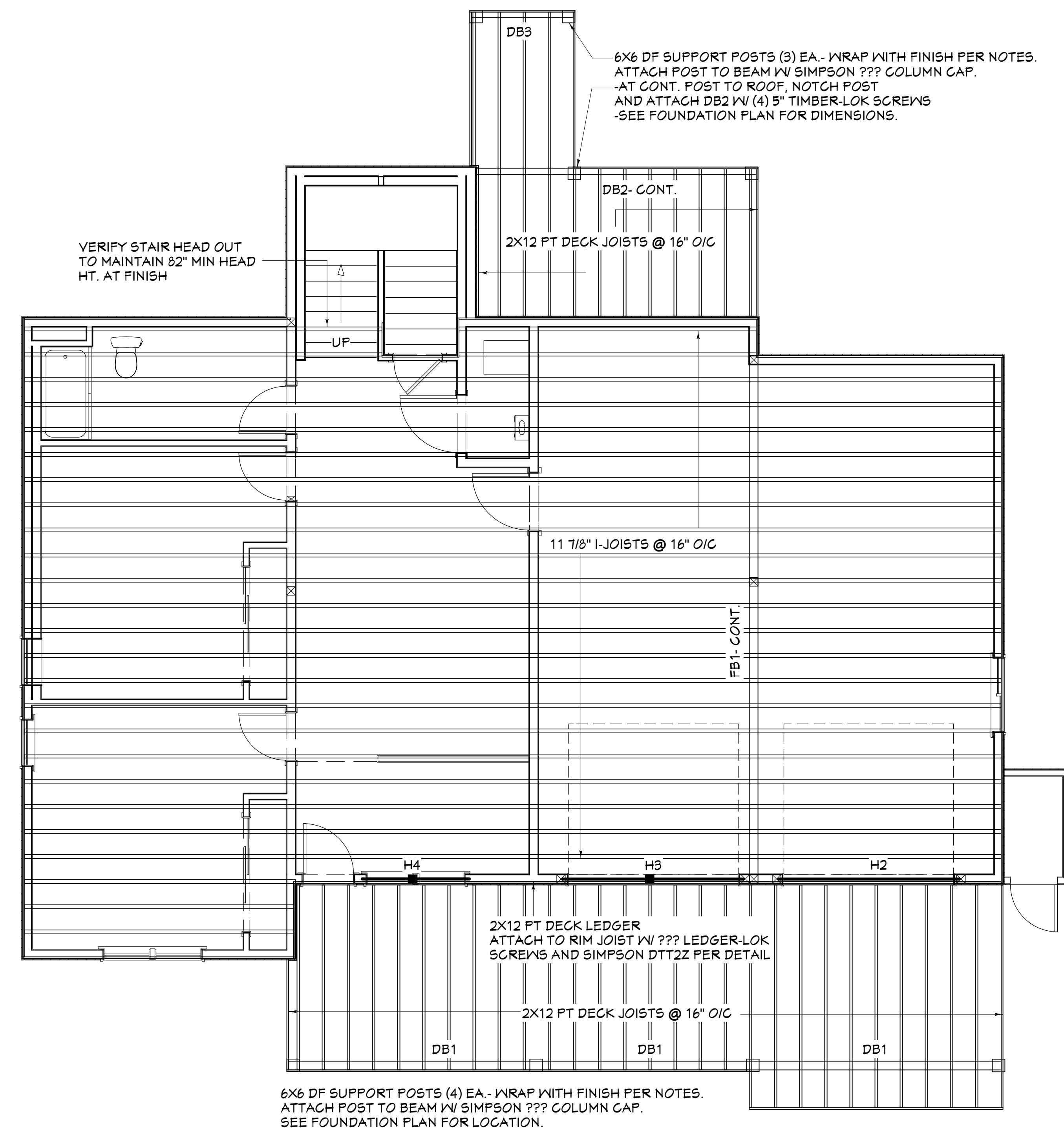


DATE:	7/12/2016
SCALE:	1/4"=1' U.N.O.
SHEET TITLE:	DIM. FLOOR PLANS
SHEET:	A1.03





FOUNDATION AND LOWER FLOOR FRAMING PLAN



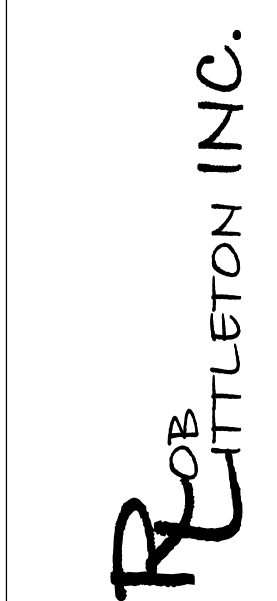
UPPER FLOOR FRAMING PLAN

NUMBER	DATE	REV. BY	DESCRIPTION

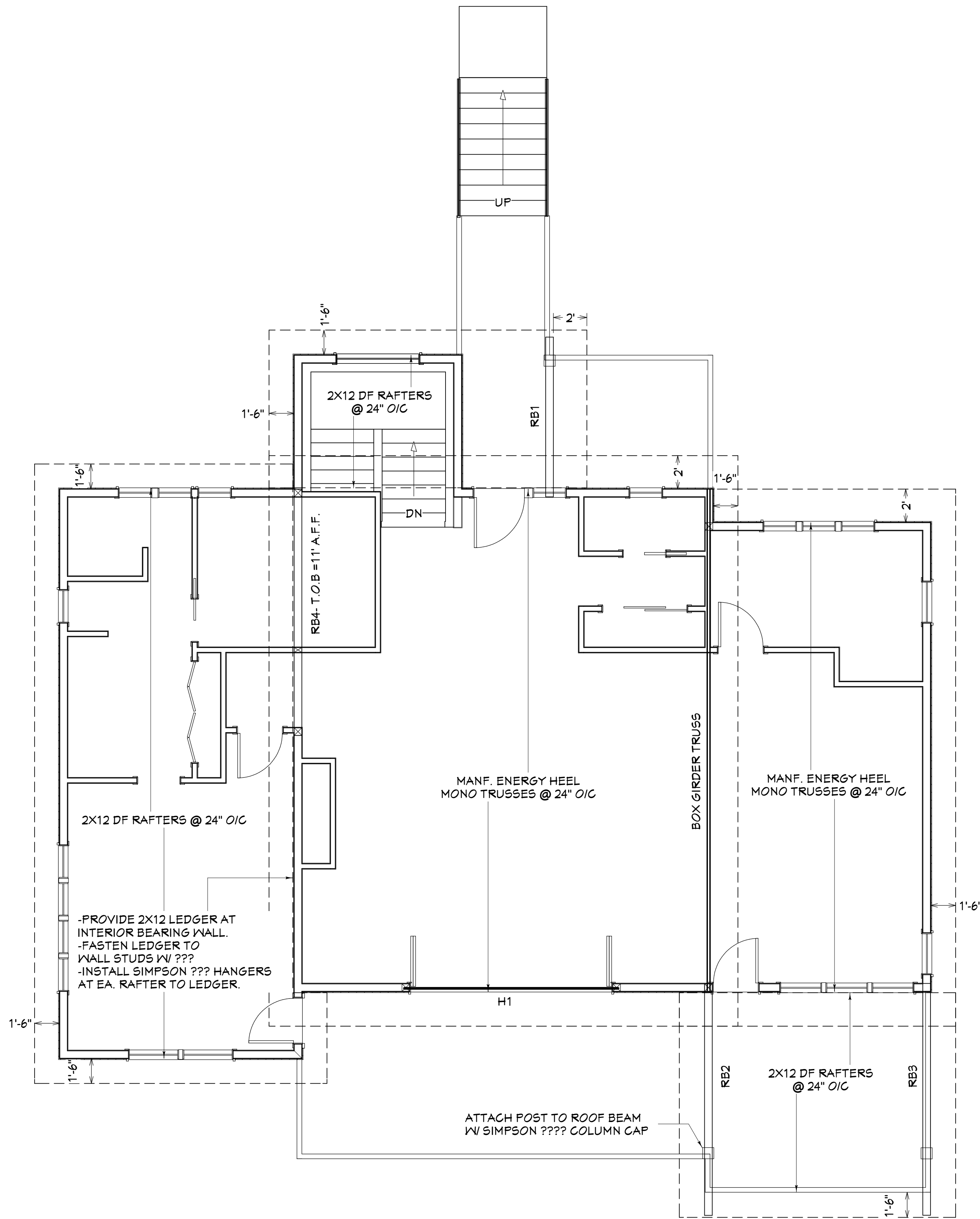
PROJECT LOCATION:
 BELL RESIDENCE - PHASE 6
 AMBRET VILLAGE
 LOT 125
 1190 NW REMARKABLE
 BEND, OR, 97101

PROJECT FOR:
 SIENNA BUILDING COMPANY
 STEVE MCDONNELL
 541-241-0406
 CCB# 207548

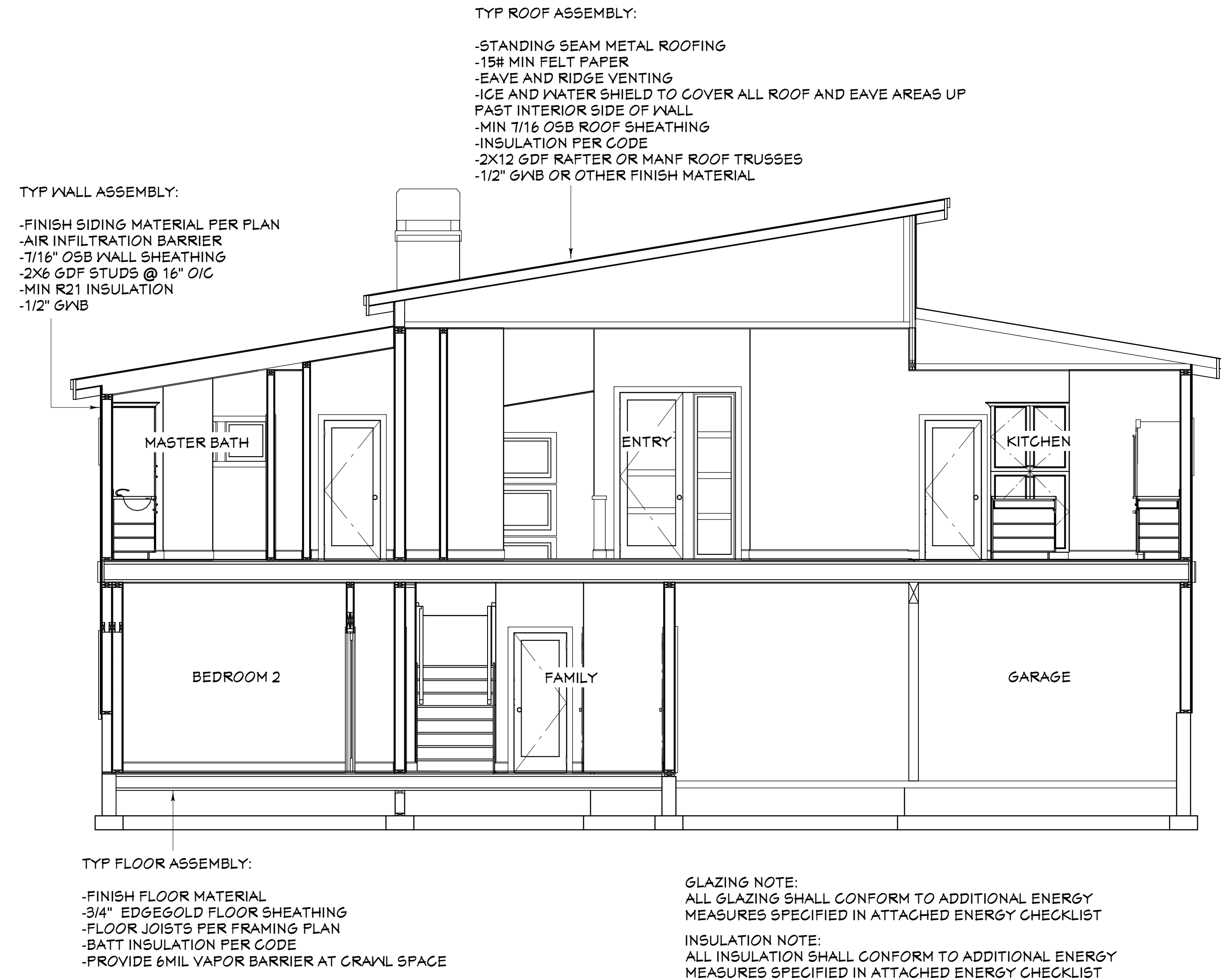
RESIDENTIAL CONSTRUCTION
 AND DESIGN
 541-280-1120 PH
 541-610-1744 FAX
 CCB# 165287



DATE:	7/12/2016
SCALE:	1/4"=1' U.N.O.
SHEET TITLE:	FOUNDATION AND FLOOR FRAMING PLANS
SHEET:	A1.04



UPPER ROOF FRAMING PLAN



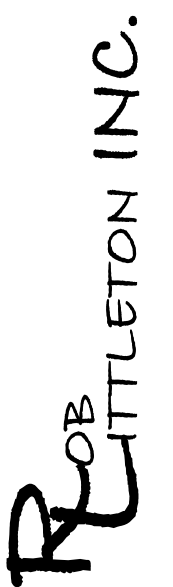
SECTION - A

NUMBER	DATE	REV BY	DESCRIPTION

PROJECT LOCATION:
BELL RESIDENCE
AMBERY VILLAGE - PHASE 6
LOT 125
1140 NW REMARKABLE
BEND, OR, 97101

PROJECT FOR:
SIENNA BUILDING COMPANY
STEVE McDONNELL
541-241-0406
CCB# 207548

RESIDENTIAL CONSTRUCTION
AND DESIGN
541-280-1120 PH
541-610-1744 FAX
FO BOX 1167
BEND OR, 97708
CCB# 165287



DATE:

7/12/2016

SCALE:

1/4"=1' U.N.O.

SHEET TITLE:
UPPER ROOF
PLAN &
BUILDING
SECTION
SHEET:

A1.05

NUMBER	DATE	REV. BY	REVISION TABLE DESCRIPTION

PROJECT LOCATION:
 BELL RESIDENCE
 AMBRET VILLAGE - PHASE 6
 LOT 125
 1140 NW REMARKABLE
 BEND, OR, 97101

PROJECT FOR:
 SIENNA BUILDING COMPANY
 STEVE MCDONNELL
 541-241-0406
 CCB# 201548

RESIDENTIAL CONSTRUCTION
 AND DESIGN
 541-280-1120 PH
 541-610-1744 FAX
 BEND, OR, 97108
 CCB# 165287

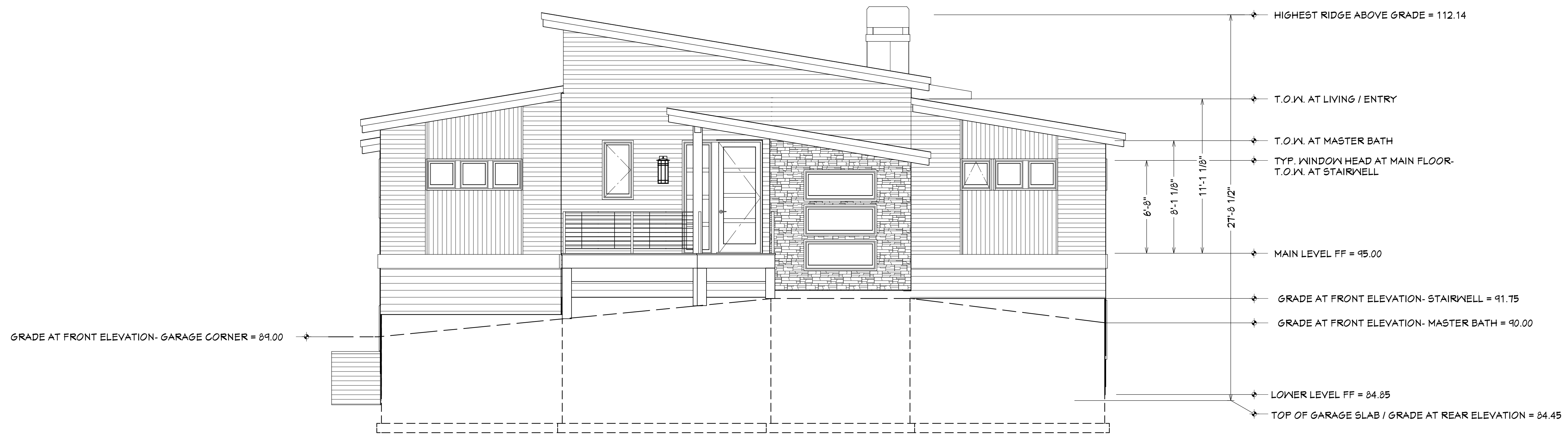
ROBERT
 RITTLETON INC.

DATE:
 7/12/2016

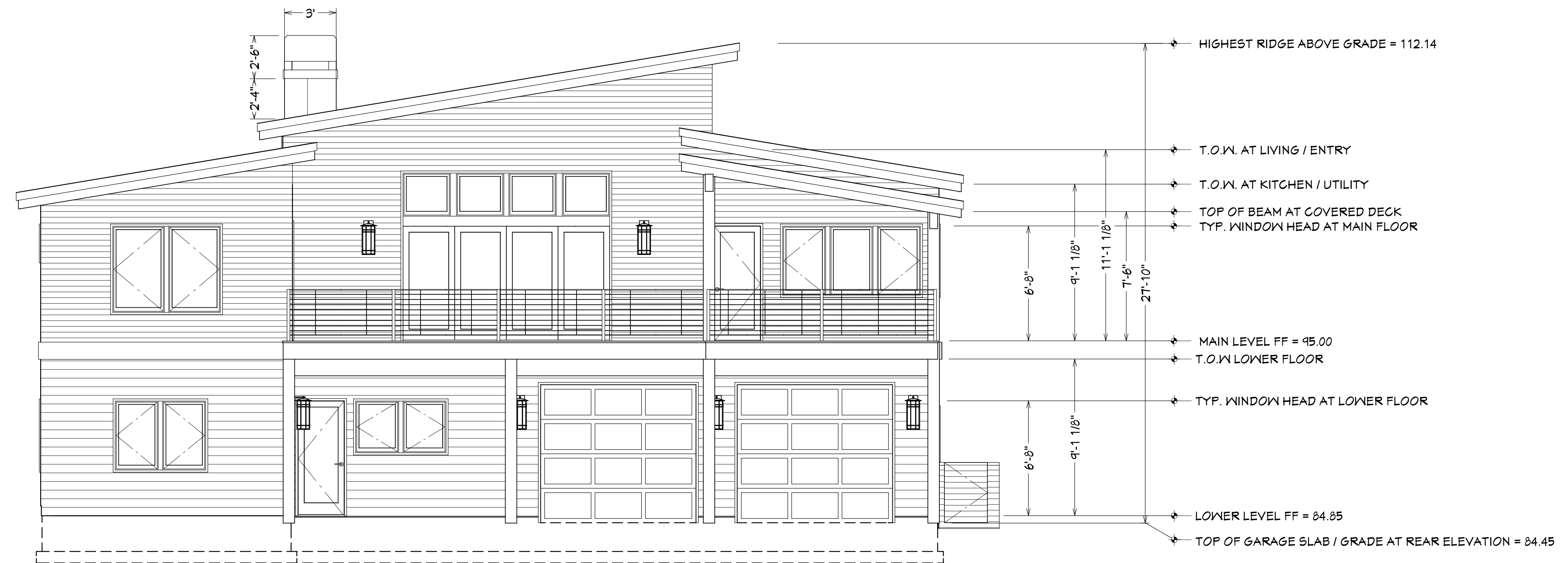
SCALE:
 1/4"=1' U.N.O.

SHEET TITLE:
 EXTERIOR ELEVATIONS

SHEET:
 A2.01



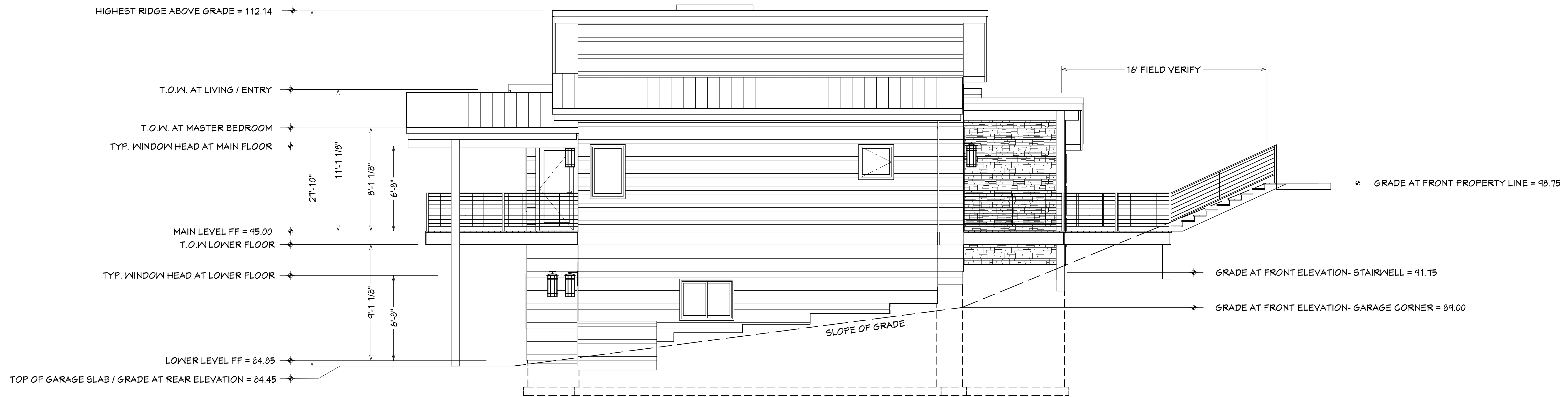
FRONT ELEVATION



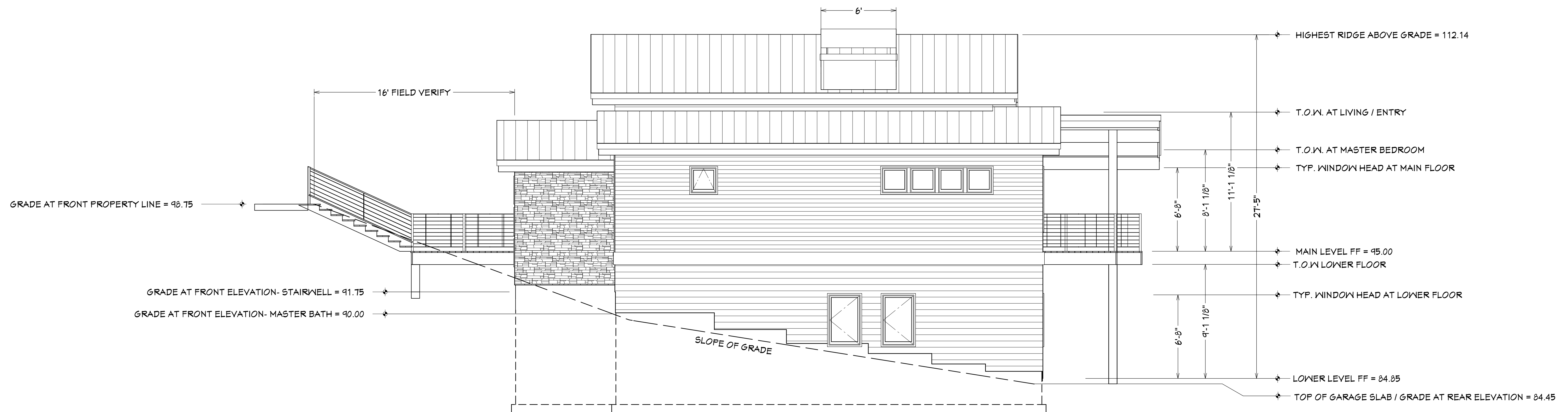
REAR ELEVATION

EXTERIOR FINISH NOTES

- ROOFING - STANDING SEAM METAL- CUSTOM BILT METALS- MUSKET
- FASCIA - 2 X10 PRIMED TRIM
- SHADOW BOARD- N/A
- SIDING - MAIN - 5 1/4" HARDI-LAP W/ 4" EXPOSURE
- UPPER AND LOWER - 7 1/4" HARDI-LAP W/ 6" EXPOSURE
- ACCENT WALLS- 1X4 VERTICAL CEDAR
- CHIMNEY - HARDI- PANEL W/ POWDER COATED SHROUD
- CORNER TRIM - METAL CORNERS
- BAND TRIM - 2X10 PRIMED TRIM
- WINDOWS - VINYL- BLACK OR CLAY
- WINDOW TRIM - 2X2 SIDE TRIM
- 2X2 APRON
- 2X2 HEAD
- STONE VENEER - CULTURED STONE COUNTRY LEDGESTONE- BLACK RUNDLE
- BUILT-UP COLUMNS- 1X PRIMED TRIM AROUND SUPPORT POST
- EXPOSED PORCH BEAMS- 6X12 RESAWN DF
- EXPOSED BEAM BROW SUPPORTS- N/A
- DECKING- 2X6 CEDAR OR 5/4 X 6 COMPOSITE- VERIFY W/ CONTRACTOR
- (MIN RAIL HT 36" AFF. MAX CLEAR OPENING 4" WHERE APPLIES)
- NOTE:
 PROVIDE WINDOW FLASHING AND DRAIN-WRAP PER DETAILS.



LEFT ELEVATION



RIGHT ELEVATION

NUMBER	DATE	REV. BY	DESCRIPTION

PROJECT LOCATION:
 BELL RESIDENCE - PHASE 6
 AMBRET VILLAGE
 LOT 125
 1140 NW REMARKABLE
 BEND OR, 97101

PROJECT FOR:
 SIENNA BUILDING COMPANY
 STEVE MCDONNELL
 541-241-0406
 CCB# 207548

RESIDENTIAL CONSTRUCTION
 AND DESIGN
 541-280-1120 PH
 541-610-1744 FAX
 BEND OR, 97108
 CCB# 165287



DATE:

7/12/2016

SCALE:

1/4"=1' U.N.O.

SHEET TITLE:
 EXTERIOR
 ELEVATIONS

SHEET:

A2.02