

MINIMUM STRUCTURAL DESIGN LOADS
DESIGN LOADS:
SNOW - 25 LBS. + DRIFT
WIND - 110 MPH
SEISMIC DESIGN CATEGORY C
FROST DEPTH - 18 INCHES
EXPOSURE - B
MINIMUM UNIFORM LIVE LOADS
BALCONIES - 60 LBS. SQ.FT.
DECKS - 40 LBS. SQ.FT.
FIRE ESCAPES - 40 LBS. SQ.FT.
GARAGES - 50 LBS. SQ.FT.
ATTICS (NO STORAGE) - 10 LBS. SQ.FT.
ATTICS (LIMITED STORAGE) - 20 LBS. SQ.FT.
ATTICS (SERVED W/ FIXED STAIRS) - 30 LBS. SQ.FT.
DWELLINGS - 40 LBS. SQ.FT.
STAIRS - 40 LBS. SQ.FT.
GUARDRAILS & HANDRAILS 200 LBS. SQ.FT.

ADDITIONAL ENERGY MEASURES PROVIDED.

RESIDENTIAL ENERGY ENVELOPE ENHANCEMENT MEASURE 3:
INSULATION:

FLOORS-
UNDERFLOOR- R30
SLAB EDGE PERIMETER- R15
HEATED SLAB, INTERIOR- R10
FLOOR ASSEMBLY OVER UNCONDITIONED SPACE- R30

WALLS-
ABOVE GRADE- R21
BELOW GRADE- R19 FOR FRAMED ASSEMBLIES OR R15 CONTINUOUS

CEILING-
FLAT- R49 WITH MIN R21 AT EDGE
SCISSOR TRUSS VAULT- R30
RAFTER VAULT- R30

WINDOWS- U0.30, AND PERFORMANCE TESTED DUCT SYSTEM

CONSERVATION MEASURE OPTION A- HIGH EFFICIENCY HVAC SYSTEM
GAS FIRED FURNACE OR BOILER WITH MINIMUM AFUE OF 90%
OR AIR-SOURCE HEAT PUMP WITH MINIMUM HSPF OF 8.5
OR CLOSED LOOP GROUND SOURCE HEAT PUMP WITH MINIMUM COP OR 3.0

GLAZING NOTE:
ALL GLAZING SHALL CONFORM TO ADDITIONAL ENERGY MEASURES SPECIFIED IN ATTACHED ENERGY CHECKLIST

INSULATION NOTE:
ALL INSULATION SHALL CONFORM TO ADDITIONAL ENERGY MEASURES SPECIFIED IN ATTACHED ENERGY CHECKLIST

ROB LITTLETON INC. DOES NOT REPRESENT ITSELF AS AN ARCHITECT, ENGINEER OR SURVEYOR. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/BUILDER TO OBTAIN ALL BUILDING PERMITS AND TO VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS AND SITE CONDITIONS WITH THEIR CONTRACTOR, ENGINEER AND/OR SURVEYOR PRIOR TO CONSTRUCTION.

SCOPE OF WORK
CONSTRUCT NEW 2466 SQ.FT. DWELLING

Every permit issued shall expire if an inspection is not requested and completed within 180 days of permit issuance; each additional inspection shall be requested and completed within 180 days of the previous inspection or the permit shall become expired.

It shall be the duty of the person doing the work authorized by a permit to notify the building official that such work is ready for inspection

It shall be the duty of the person requesting any inspections required by the code to provide access to and means for inspection of such work

R318.2 Moisture Content. Prior to the installation of interior finishes, the building official shall be notified in writing by the general contractor that all moisture sensitive wood framing members used in construction have a moisture content of not more than 19 percent of the weight of dry wood framing members.

RESERVED FOR BUILDING DEPARTMENT STAMP

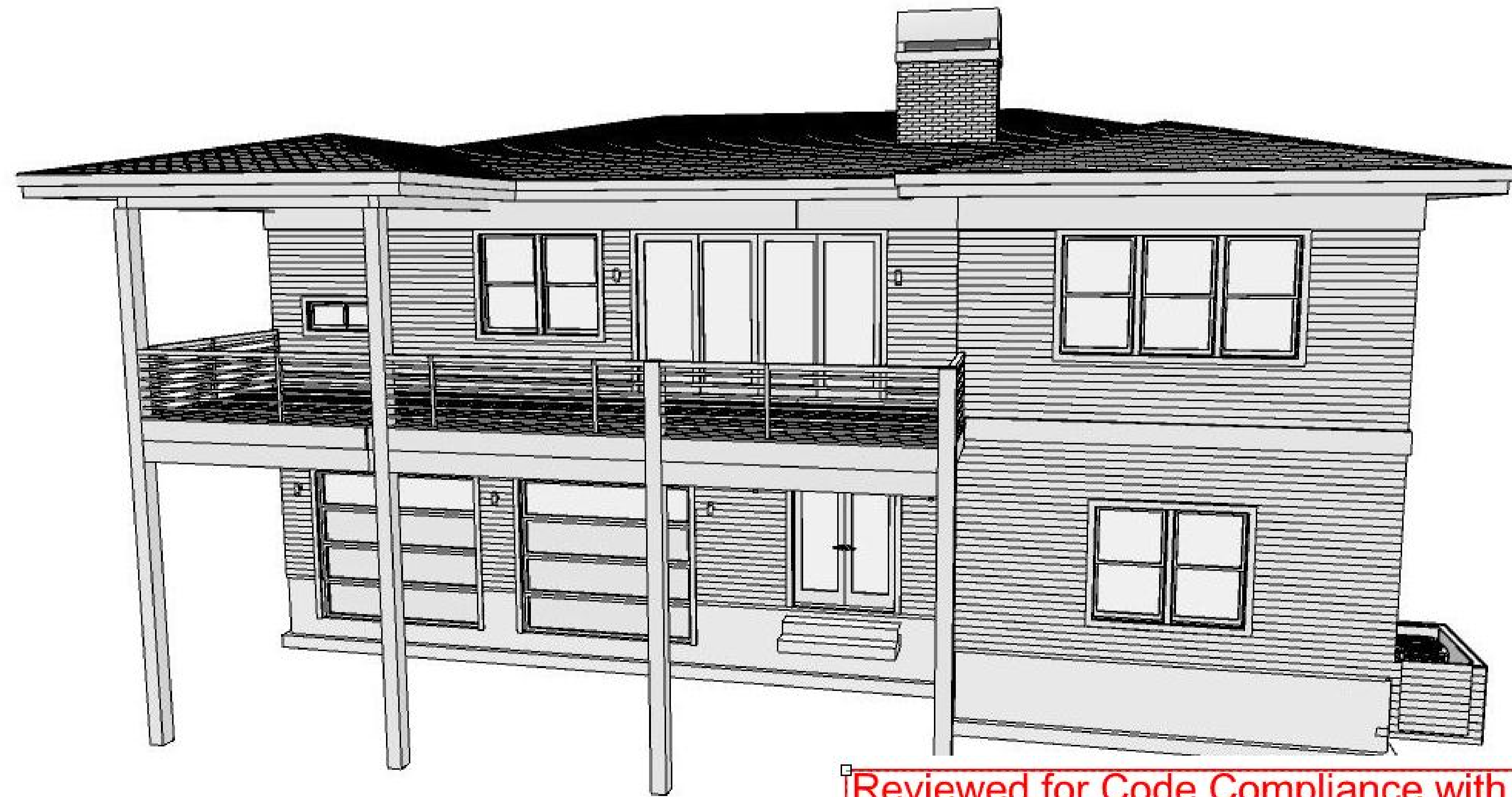
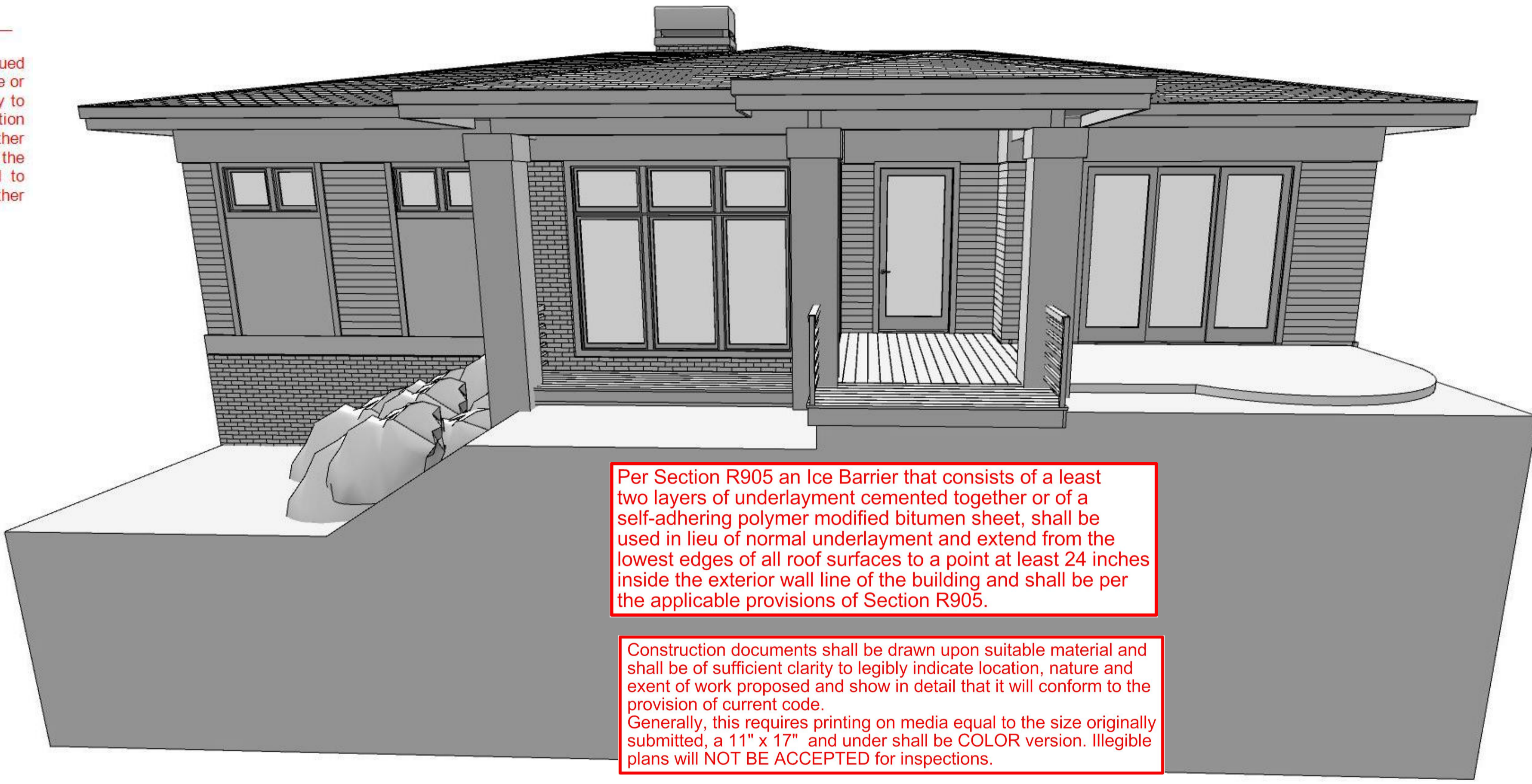
REVIEWED FOR CODE COMPLIANCE
BP-18-1450-SFD
1226 NW
REMARKABLE DR

CITY OF BEND APPROVED

Structural Plumbing Mechanical Electrical
Other Fire Sprinkler Fire Alarm

Plans Examiner BGA Date: 5/14/18/ Permit # 18-1450

105.4 Validity of permit. The issuance or granting of a permit shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of this code or any other laws or ordinances of the jurisdiction. Permits presuming to give authority to violate or cancel the provisions of this code or other laws or ordinances of the jurisdiction shall not be valid. The issuance of a permit based on construction documents and other data shall not prevent the building official from requiring the correction of errors in the construction documents and other data. The building official is also authorized to prevent occupancy or use of a structure where in violation of this code or of any other laws or ordinances of this jurisdiction.



Reviewed for Code Compliance with 2017 Oregon Residential Specialty Code
SITE MUST BE OSHA COMPLIANT PRIOR TO INSPECTIONS TAKING PLACE.

LAYOUT PAGE TABLE

NUMBER	LABEL	TITLE
1	A0.01	COVER SHEET
2	A0.02	PLAN NOTES
3	A1.01	SITE PLAN
4	A1.02	MAIN FLOOR PLAN
5	A1.03	LOWER FLOOR PLAN
6	A1.04	FOUNDATION AND LOWER FLOOR FRAMING
7	A1.05	LOWER ROOF & UPPER FLOOR FRAMING
8	A1.06	UPPER ROOF FRAMING PLAN
9	A2.01	EXTERIOR ELEVATIONS
10	A2.02	EXTERIOR ELEVATIONS
11	A3.01	BUILDING SECTIONS
12	SS.01	DETAILS- STRUCTURAL

NUMBER	DATE	REV BY	DESCRIPTION

PROJECT LOCATION:
1226 NW REMARKABLE DR.
BEND OR 97103

PROJECT FOR:
SIENNA BUILDING COMPANY
SIEVE MCDOWELL
541-241-0406

RESIDENTIAL CONSTRUCTION AND DESIGN
541-280-1120 PH
541-610-1744 FAX
PO BOX 1167
BEND OR 97103
CC# 165287

Rob Littleton Inc.

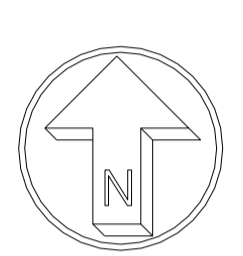
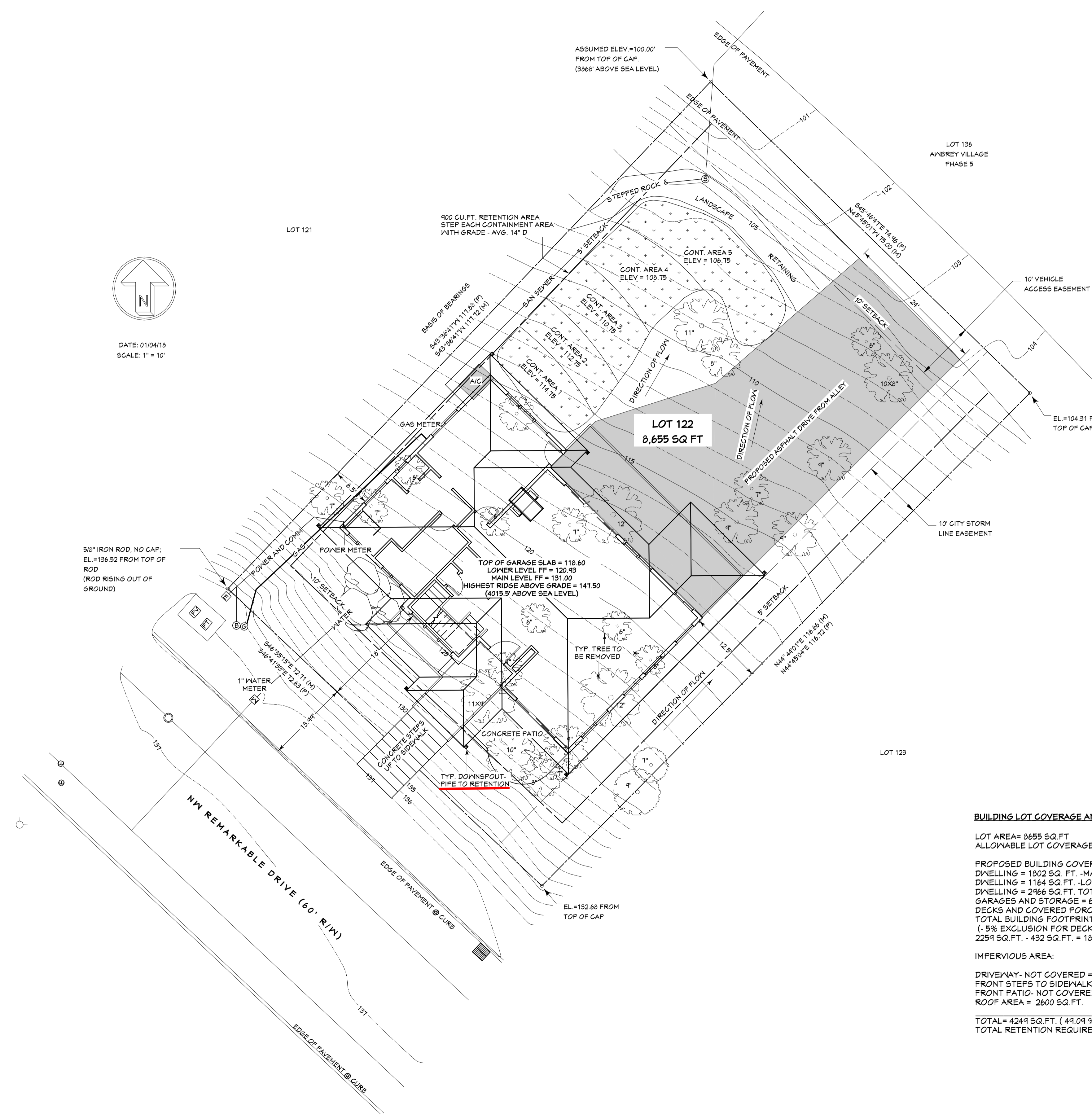
DATE:
3/22/2018

SCALE:
1/4"=1' U.N.O.

SHEET TITLE:
COVER SHEET

SHEET:
A0.01

REVIEWED FOR
CODE COMPLIANCE
BP-18-1450-SFD
1226 NW
REMARKABLE DR



DATE: 01/04/18
SCALE: 1" = 10'

LEGEND

- FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "X&H PACIFIC" UNLESS NOTED OTHERWISE
- (P) BEARING & DISTANCE PER PLAT OF "AMBREY VILLAGE, PHASE 6" BY MICHAEL COONEY, FILED 05/22/2003 AS CS15307
- (M) MEASURED BEARING & DISTANCE
- 8" ASPEN TREE & DIAMETER
- 8" JUNIFER TREE & DIAMETER
- 8" JUNIFER TREE TO BE REMOVED & DIAMETER
- ⊗ WATER METER
- ⊞ ELECTRIC PEDESTAL
- ⊕ BROADBAND PEDESTAL
- ⊙ 2" PVC GAS STUBOUT
- ⊙ 4" PVC SEWER STUBOUT
- ⊙ WATER VALVE
- SANITARY SEWER MANHOLE
- ⊞ POWER TRANSFORMER
- ⊞ POWER VAULT
- FIRE HYDRANT
- ⊞ CATCH BASIN
- WOOD FENCE
- UNDERGROUND WATER LINE
- UNDERGROUND SEWER LINE
- UNDERGROUND GAS LINE
- UNDERGROUND POWER AND COMM

BUILDING LOT COVERAGE AND CALCULATIONS:

LOT AREA = 8655 SQ. FT.
ALLOWABLE LOT COVERAGE 35% = 3029 SQ. FT.

PROPOSED BUILDING COVERAGE:
DWELLING = 1802 SQ. FT. - MAIN FLOOR
DWELLING = 1164 SQ. FT. - LOWER FLOOR
DWELLING = 2466 SQ. FT. - TOTAL LIVING
GARAGES AND STORAGE = 633 SQ. FT.
DECKS AND COVERED PORCHES = 457 SQ. FT.
TOTAL BUILDING FOOTPRINT = 2259 SQ. FT.
(- 5% EXCLUSION FOR DECKS AND COVERED PORCHES = 432 SQ. FT.)
2259 SQ. FT. - 432 SQ. FT. = 1827 SQ. FT. = 21.10 %

IMPERVIOUS AREA:
DRIVEWAY - NOT COVERED = 1434 SQ. FT.
FRONT STEPS TO SIDEWALK = 112 SQ. FT.
FRONT PATIO - NOT COVERED = 53 SQ. FT.
ROOF AREA = 2600 SQ. FT.

TOTAL = 4249 SQ. FT. (49.04% OF LOT)
TOTAL RETENTION REQUIRED = 850 CUBIC FEET

SURVEYORS NOTES

THIS SURVEY IS FOR TOPOGRAPHIC PURPOSES ONLY AND DOES NOT MEET THE REQUIREMENTS OF A BOUNDARY SURVEY AND IS SUBJECT TO ANY INACCURACIES THAT A SUBSEQUENT BOUNDARY SURVEY MAY REVEAL. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS, RESTRICTIONS, AND RIGHTS-OF-WAY OF RECORD AND THOSE COMMON AND APPARENT ON THE LAND. CONTOURS ARE BASED ON AN ASSUMED DATUM AND HAVE NO RELATIONSHIP TO SEA LEVEL DATUM. UNDERGROUND UTILITY LINES ARE SHOWN PER THE CITY OF BEND INTERACTIVE MAPS.

REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON
JULY 25, 1989
JAMES D. PERRY
2407
RENEWS 12-31-2018

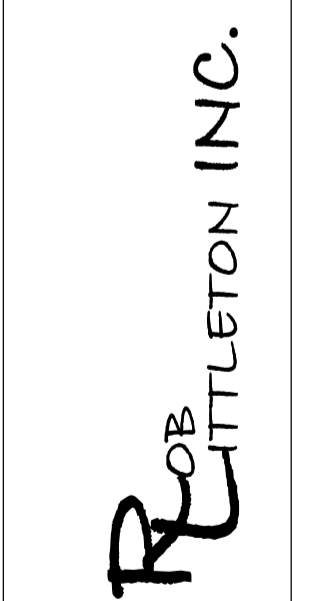
SITE PLAN 1"=10'

NUMBER	DATE	REV. BY	DESCRIPTION

PROJECT LOCATION:
1226 NW REMARKABLE DR.
BEND OR 97103

PROJECT FOR:
SIENNA BUILDING COMPANY
STEVIE MCDONWELL
541-241-0406

RESIDENTIAL CONSTRUCTION
AND DESIGN
541-280-1120 PH
541-610-1744 FAX
PO BOX 1167
BEND OR 97103
CC# 165287



DATE:	5/8/2018
SCALE:	1/4" = 1" U.N.O.
SHEET TITLE:	SITE PLAN
SHEET:	A1.01

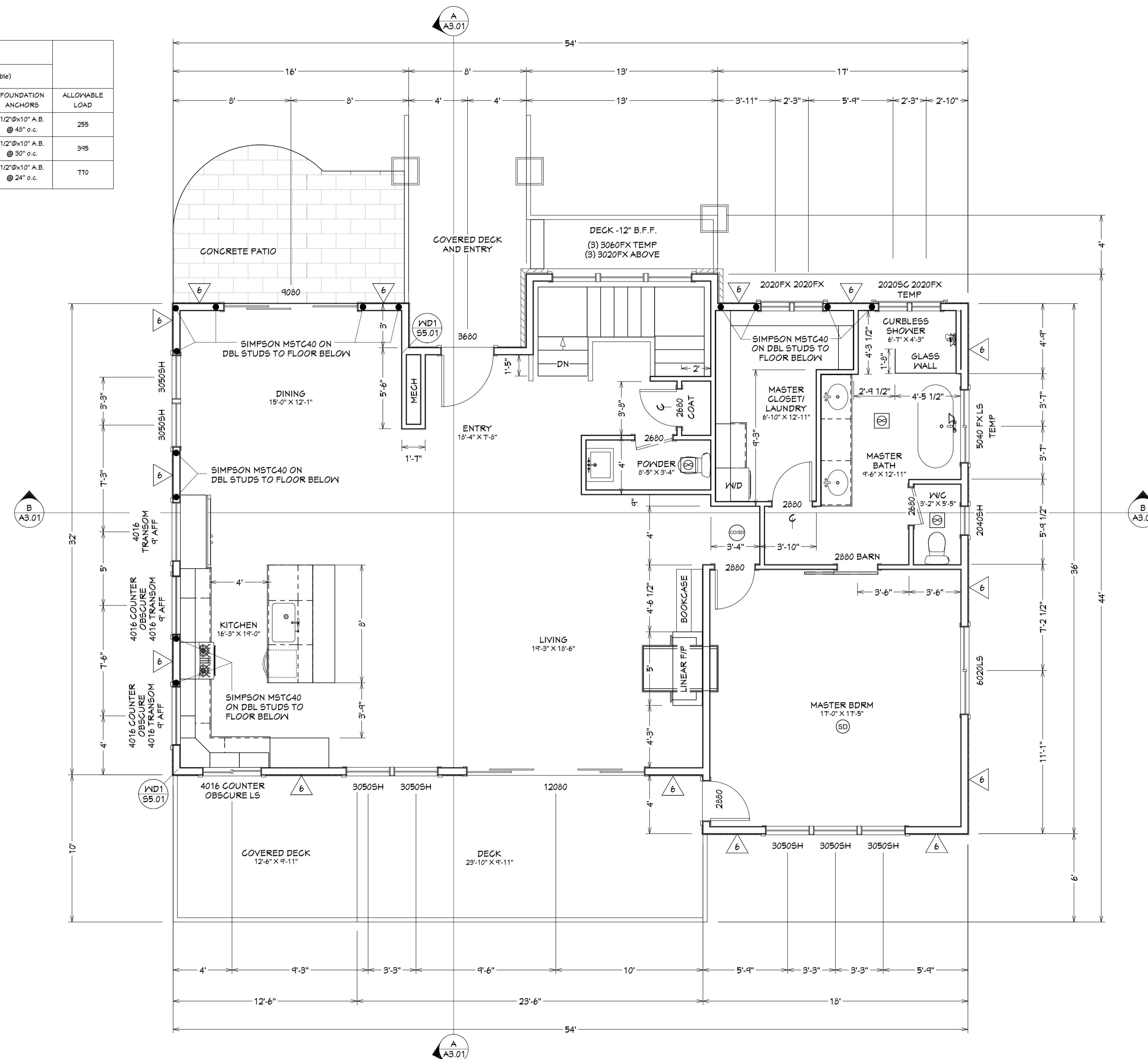
SHEARWALL SCHEDULE						
WALL INFORMATION				FASTENERS (Where Applicable)		
WALL	WALL SHEATHING	EDGE NAILING	FIELD NAILING	SILL PLATE	RIM JOIST	FOUNDATION ANCHORS
SW-6	7/16" on one side of wall	8d @ 6" o.c.	8d @ 12" o.c.	16d @ 6" o.c.	Simpson L550 @ 24" o.c.	1/2"x10" A.B. @ 48" o.c.
SW-4	7/16" on one side of wall	8d @ 4" o.c.	8d @ 12" o.c.	16d @ 4" o.c.	Simpson L550 @ 15" o.c.	1/2"x10" A.B. @ 30" o.c.
SW-3 Notes: a,b,c	7/16" on one side of wall	8d @ 3" o.c.	8d @ 12" o.c.	16d @ 3" o.c.	Simpson L550 @ 16" o.c.	1/2"x10" A.B. @ 24" o.c.
						ALLOWABLE LOAD
						255
						345
						770

SCHEDULE NOTES:

- All exterior framed walls not designated with a wall label shall be sheathed and anchored according to the requirements of shear wall 6.
- Studs shall be spaced at 24" o.c. maximum (plywood may be installed either vertically or horizontally).
- All shear panels are to be continuous between horizontal diaphragms (roof to floor, floor to floor, floor to foundation).
- All framed shear walls shall be blocked at all panel edges.

Footnotes: Where load is >350 plf use a) b) and c)

- a) Studs and/or blocking at adjoining panel edges shall be 3x minimum and the nails shall be staggered.
- b) Sill plates shall be 3x minimum and sill plate nailing shall be staggered.
- c) As a substitute for 3x members, double studs may be nailed together with 16d nails @ 6" o.c.



MAIN FLOOR PLAN
1802 SQ.FT.

Interconnected hard wired smoke detectors required located in each bedroom, immediately outside bedroom and one on each story. (R314.3). Carbon Monoxide alarms shall be located in each room or within 15 feet outside of each bedroom door. Bedrooms on separate floor levels in a structure consisting of two or more stories shall have separate carbon monoxide alarms serving each story. (R315.2)

Exhaust Rates for Residential Dwellings
Table M1507.4
Range hoods/ downdraft exhaust Min. 150 cfm intermittent. Exhaust to outside.
Rooms containing bathing and spa facilities Min. 80 cfm intermittent or 20 cfm continuous
Toilet rooms without bathing or spa facilities, when not provided with natural ventilation in accordance with Section R303.3.2 Min. 50 cfm

Handrails/Stairways
Stairways shall comply with R311.7 Handrails shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finished surface of the ramp slope, shall be not less than 30 inches and not more than 38 inches. R311.7.7, R311.7.7.1

Fireblock Protection
R302.11 Fire blocking. In combustible construction, fire blocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.

R310 Emergency Egress
Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. R310.1.1 Minimum opening area. All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2). Exception: Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2). R310.1.2 Minimum opening height. The minimum net clear opening height shall be 24 inches (610 mm). R310.1.3 Minimum opening width. The minimum net clear opening width shall be 20 inches (508 mm). R310.1.4 Operational constraints. Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge. Minimum sill height 24" or per R612.2.
Tempered- Door 24"
Safety glazing required when located adjacent to a door with nearest vertical edge located within 24 inches in closed position and bottom of glazing less than 60 inches above walking surface. Exception given when wall with glazing is perpendicular to door and door does not swing towards glazing. (R308.4 #2)

Tempered- Shower/Bathtub
Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom exposed edge of the glazing is less than 60 inches measured vertically above any standing or walking surface. (R308.4 #5)

Tempered- Stairway
Safety glazing required adjacent to stairways when within 36 inches horizontally of walking surface and glazing less than 60 inches above walking surface, also required within 60 inches horizontally of bottom tread when glazing less than 60 inches above walking surface. One tread constitutes stairway per building code. (R308.4 #7)

PLUMBING OR ELECTRICAL HAS NOT BEEN REVIEWED

NUMBER	DATE	REVIEW	DESCRIPTION

PROJECT LOCATION:
1226 NW REMARKABLE DR.
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PROJECT FOR:
SIENNA BUILDING COMPANY
STEVE MCDONNELL
541-241-0406

RESIDENTIAL CONSTRUCTION
AND DESIGN
541-280-1120 PH
541-610-1744 FAX
FO BOX 1167
BEND OR 97103
CC# 165287

ROB
PITTLTON INC.

DATE:	3/23/2018
SCALE:	1/4"=1' U.N.O.
SHEET TITLE:	MAIN FLOOR PLAN
SHEET:	A1.02

REVIEWED FOR
CODE COMPLIANCE
BP-18-1450-SFD
1226 NW
REMARKABLE DR

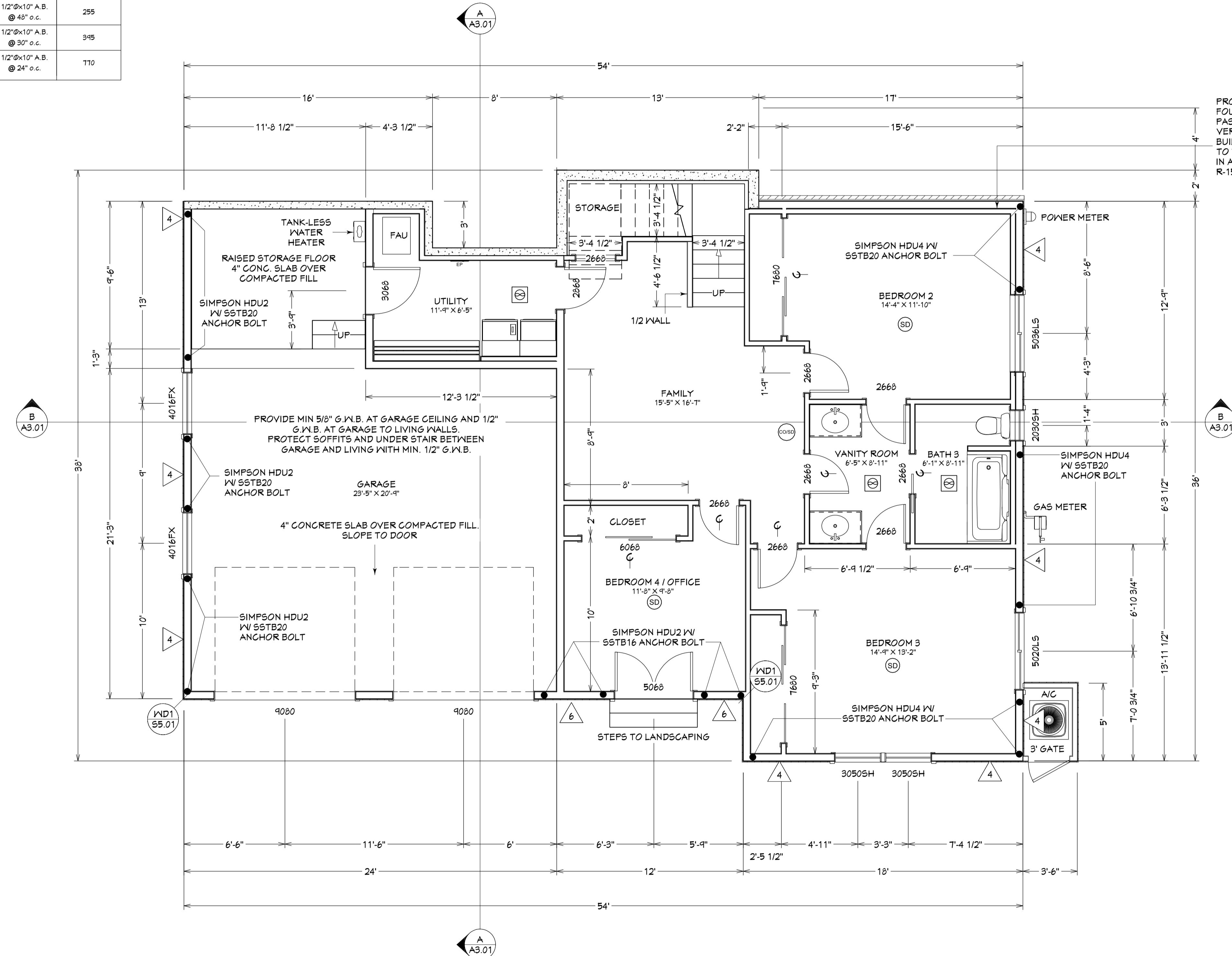
SHEARWALL SCHEDULE							
WALL INFORMATION			FASTENERS (Where Applicable)				
WALL	WALL SHEATHING	EDGE NAILING	FIELD NAILING	SILL PLATE	RIM JOIST	FOUNDATION ANCHORS	ALLOWABLE LOAD
SN-6	7/16" on one side of wall	8d @ 6" o.c.	8d @ 12" o.c.	16d @ 6" o.c.	Simpson L550 @ 24" o.c.	1/2"Øx10" A.B. @ 48" o.c.	255
SN-4	7/16" on one side of wall	8d @ 4" o.c.	8d @ 12" o.c.	16d @ 4" o.c.	Simpson L550 @ 18" o.c.	1/2"Øx10" A.B. @ 30" o.c.	345
SN-3	7/16" on one side of wall	8d @ 3" o.c.	8d @ 12" o.c.	16d @ 3" o.c.	Simpson L550 @ 16" o.c.	1/2"Øx10" A.B. @ 24" o.c.	T70

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PROVIDE 2X4 FURR WALL WHERE FOUNDATION WALL EXTENDS IN PAST FRAMED WALL ASSEMBLY ABOVE. VERIFY W/ BUILDER WHERE FURR WALL BUILDS TO CEILING OR IS PONY WALL TO TOP OF CONCRETE. IN ALL APPLICATIONS PROVIDE MIN R-15 INSULATION AT WALL ASSEMBLIES BELOW GRADE

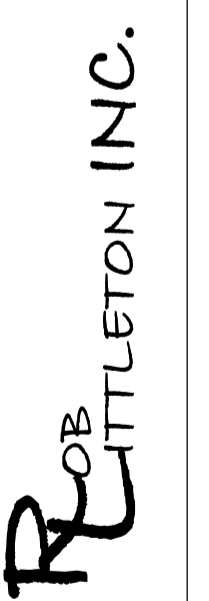
LOWER FLOOR PLAN
1164 SQ.FT.
GARAGE AND STORAGE AREA
638 SQ.FT.

NUMBER	DATE	REV BY	DESCRIPTION

PROJECT LOCATION:
1226 NW REMARKABLE DR.
BEND OR 97103

PROJECT FOR:
SIENNA BUILDING COMPANY
STEVE MCDONNELL
541-241-0406

RESIDENTIAL CONSTRUCTION
AND DESIGN
541-280-1120 PH
541-610-1744 FAX
PO BOX 1167
BEND OR 97103
CC# 165287



DATE:
5/8/2018

SCALE:
1/4"=1' U.N.O.

SHEET TITLE:
LOWER FLOOR PLAN

SHEET:
A1.03

REVIEWED FOR
CODE COMPLIANCE
BP-18-1450-SFD
1226 NW
REMARKABLE DR



FRONT ELEVATION



REAR ELEVATION

NUMBER	DATE	REV BY	DESCRIPTION

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STEVIE MCDONNELL
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AND DESIGN
541-280-1120 PH P.O. BOX 1167
541-610-1744 FAX BEND OR, 97103
CCB# 165287

ROB
RITTLETON INC.

DATE:

3/22/2018

SCALE:

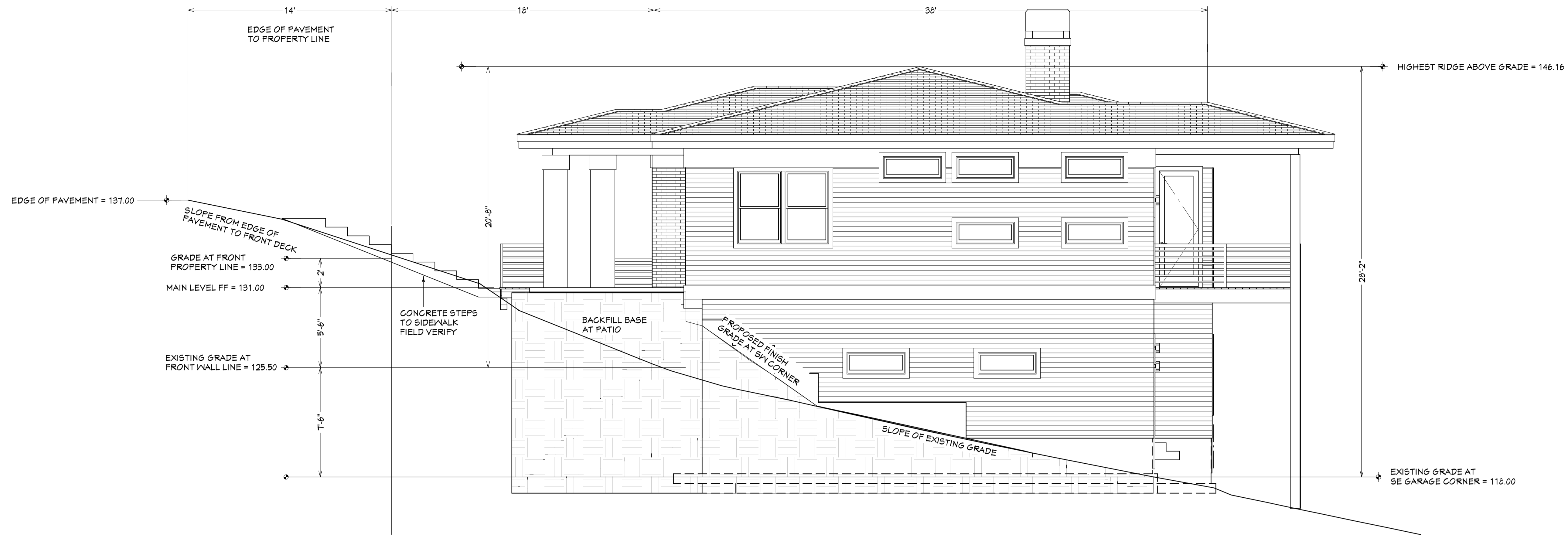
1/4"=1' U.N.O.

SHEET TITLE:
EXTERIOR
ELEVATIONS

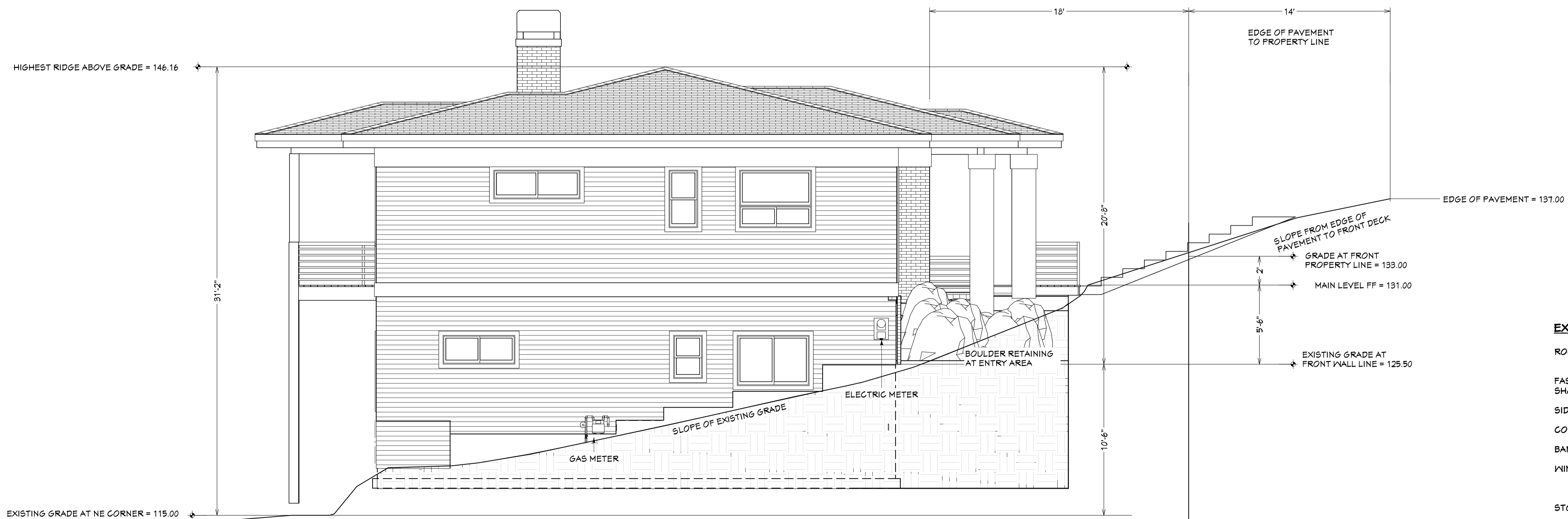
SHEET:

A2.01

REVIEWED FOR
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BP-18-1450-SFD
1226 NW
REMARKABLE DR



RIGHT ELEVATION



LEFT ELEVATION

EXTERIOR FINISH NOTES

- ROOFING - 50 YEAR COMPOSITION STANDING SEAM METAL AT ENTRY
 - FASCIA - 2X12 PRIMED TRIM
SHADOW BOARD- 1X6 PRIMED TRIM
 - SIDING - 5 1/4" HARDI-LAP W/4" EXPOSURE
 - CORNER TRIM - METAL CORNERS
 - BAND TRIM - 2X10 PRIMED TRIM
 - WINDOW TRIM - 5/4 X 4 SIDE TRIM
5/4 X 4 APRON
5/4 X 6 HEAD
 - STONE VENEER - CULTURED BRICK (VERIFY W/ BUILDER)
 - EXPOSED SUPPORT COLUMNS- POWDER COATED TUBE STEEL
 - EXPOSED BEAMS 6X12 RESAWN DF
 - DECKING- 2X6 CEDAR OR 5/4 X 6 COMPOSITE- VERIFY W/ CONTRACTOR
HORIZONTAL TUBE STEEL RAIL AT DECK PERIMETER
- NOTE:
PROVIDE WINDOW FLASHING AND DRAIN-WRAP PER DETAILS.

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DATE:	3/22/2018
SCALE:	1/4"=1' U.N.O.
SHEET TITLE:	EXTERIOR ELEVATIONS
SHEET:	A2.02