

MINIMUM STRUCTURAL DESIGN LOADS
DESIGN LOADS:
SNOW - 25 LBS. + DRIFT
WIND - 110 MPH
SEISMIC DESIGN CATEGORY C
FROST DEPTH - 18 INCHES
EXPOSURE - B OR C DEPENDING ON AREA
MINIMUM UNIFORM LIVE LOADS
BALCONIES - 60 LBS. SQ.FT.
DECKS - 40 LBS. SQ.FT.
FIRE ESCAPES - 40 LBS. SQ.FT.
GARAGES - 50 LBS. SQ.FT.
ATTICS (NO STORAGE) - 10 LBS. SQ.FT.
ATTICS (LIMITED STORAGE) - 20 LBS. SQ.FT.
ATTICS (SERVED W/ FIXED STAIRS) - 30 LBS. SQ.FT.
DWELLINGS - 40 LBS. SQ.FT.
STAIRS - 40 LBS. SQ.FT.
GUARDRAILS & HANDRAILS 200 LBS. SQ.FT.

ADDITIONAL ENERGY MEASURES PROVIDED.

RESIDENTIAL ENERGY ENVELOPE ENHANCEMENT MEASURE 2:

INSULATION :

FLOORS-

UNDERFLOOR- R38

SLAB EDGE PERIMETER- R15

HEATED SLAB, INTERIOR- R10

FLOOR ASSEMBLY OVER UNCONDITIONED SPACE- R30

WALLS-

ABOVE GRADE- R23

BELOW GRADE- R19 FOR FRAMED ASSEMBLIES OR R15

CONTINUOUS

CEILINGS-

FLAT- R49 WITH MIN R21 AT EDGE

SCISSOR TRUSS VAULT- R38

RAFTER VAULT- R30

WINDOWS- U-0.28

CONSERVATION MEASURE OPTION A- HIGH EFFICIENCY HVAC SYSTEM

GAS FIRED FURNACE OR BOILER WITH MINIMUM AFUE OF 94%

OR AIR-SOURCE HEAT PUMP WITH MINIMUM HSPF OF 9.5

OR CLOSED LOOP GROUND SOURCE HEAT PUMP WITH COP 3.5

OR ENERGY STAR RATED

GLAZING NOTE:

ALL GLAZING SHALL CONFORM TO ADDITIONAL ENERGY MEASURES SPECIFIED IN ATTACHED ENERGY CHECKLIST

INSULATION NOTE:

ALL INSULATION SHALL CONFORM TO ADDITIONAL ENERGY MEASURES SPECIFIED IN ATTACHED ENERGY CHECKLIST

Upgraded features
2 Exterior walls—U-0.057, R-23 intermediate, R-21 advanced, Framed floors—U-0.026/R-38, and Windows—U-0.28 (average UA)
High efficiency HVAC system*
A Gas-fired furnace or boiler AFUE 94%, or Air source heat pump HSPF 9.5/15.0 SEER cooling, or Ground source heat pump COP 3.5 or Energy Star rated

ROB LITTLETON INC. DOES NOT REPRESENT ITSELF AS AN ARCHITECT, ENGINEER OR SURVEYOR. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/ BUILDER TO OBTAIN ALL BUILDING PERMITS AND TO VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS AND SITE CONDITIONS WITH THEIR CONTRACTOR, ENGINEER AND/ OR SURVEYOR PRIOR TO CONSTRUCTION.

Page 1/9

Approved with attached engineering and addendum.

Truss and i-joist packets/layouts attached.

SWQ 20190214

CITY OF BEND

APPROVED

Structural ☒ Plumbing ☐ Other ☐ Mechanical ☐ Fire Sprinkler ☐ Electrical ☐ Fire Alarm ☐

Plans Examiner SWQ Date: 20190214 Permit # 19-0254

105.4 Validity of permit. The issuance or granting of a permit shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of this code or any other laws or ordinances of the jurisdiction. Permits presuming to give authority to violate or cancel the provisions of this code or other laws or ordinances of the jurisdiction shall not be valid. The issuance of a permit based on construction documents and other data shall not prevent the building official from requiring the correction of errors in the construction documents and other data. The building official is also authorized to prevent occupancy or use of a structure where in violation of this code or of any other laws or ordinances of this jurisdiction.

Construction documents shall be drawn upon suitable material and shall be of sufficient clarity to legibly indicate location, nature and extent of work proposed and show in detail that it will conform to the provision of current code. Generally, this requires printing on media equal to the size originally submitted, a 11" x 17" and under shall be COLOR version. Illegible plans will NOT BE ACCEPTED for inspections.

Per Section R905 an Ice Barrier that consists of a least two layers of underlayment cemented together or of a self-adhering polymer modified bitumen sheet, shall be used in lieu of normal underlayment and extend from the lowest edges of all roof surfaces to a point at least 24 inches inside the exterior wall line of the building and shall be per the applicable provisions of Section R905.

Reviewed for code compliance with the 2017 Oregon Residential Specialty Code

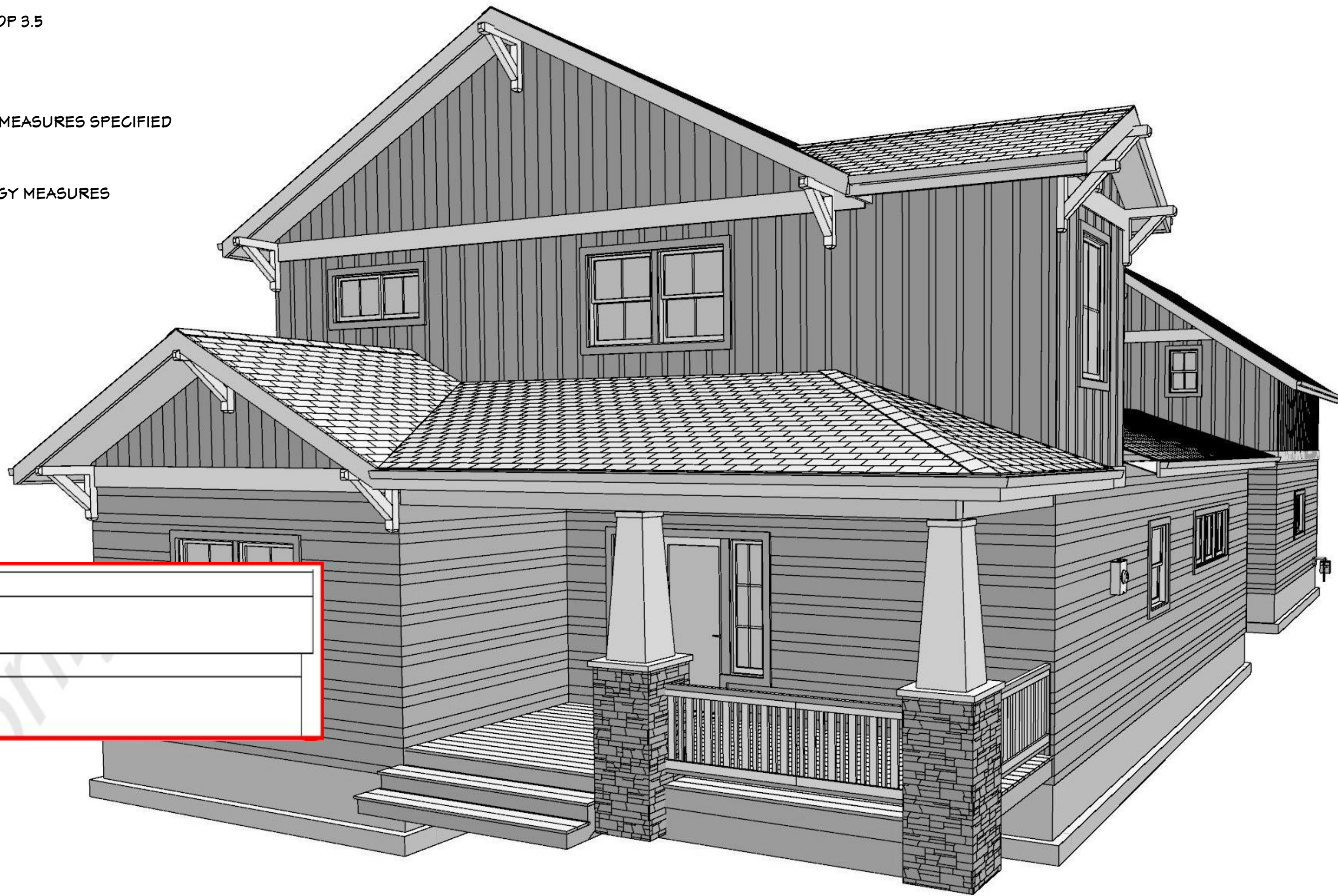
Plumbing and electrical has not been reviewed. Subject to field review.

SITE MUST BE OSHA COMPLIANT PRIOR TO INSPECTIONS TAKING PLACE.

Every permit issued shall expire if an inspection is not requested and completed within 180 days of permit issuance; each additional inspection shall be requested and completed within 180 days of the previous inspection or the permit shall become expired.

It shall be the duty of the person doing the work authorized by a permit to notify the Building Official that such work is ready for inspection. It shall be the duty of the person requesting any inspections required by the code to provide access to and means for inspection of such work.

R318.2 Moisture Content. Prior to the installation of interior finishes, the building official shall be notified in writing by the general contractor that all moisture sensitive wood framing members used in construction have a moisture content of not more than 19 percent of the weight of dry wood framing members.



BUILDING LOT COVERAGE AND CALCULATIONS:

LOT AREA= 5500 SQ. FT.

ALLOWABLE LOT COVERAGE 45% = 2475 SQ. FT.

PROPOSED BUILDING COVERAGE:

DWELLING = 1442 SQ. FT. - MAIN FLOOR

DWELLING = 1272 SQ. FT. - UPPER FLOOR

DWELLING = 2714 SQ. FT. TOTAL LIVING

GARAGE AREA = 512 SQ. FT.

FRONT COVERED PORCH = 160 SQ. FT.

UPPER REAR DECK = 128 SQ. FT.

STAIRS AND LANDING AT EXERCISE ROOM = 80 SQ. FT.

TOTAL DECKS AND COVERED PORCHES = 368 SQ. FT.

TOTAL BUILDING FOOTPRINT = 2395 SQ. FT.

(- 5% EXCLUSION FOR DECKS AND COVERED PORCHES = 275 SQ. FT.)

2395 SQ. FT. - 275 SQ. FT. = 2110 SQ. FT. = 38.36 %

FLOOR AREA RATIO:

TOTAL LIVING AREA = 2714 SQ. FT.

TOTAL GARAGE AREA = 512 SQ. FT.

TOTAL SQ. FT. IN FAR CALCULATION = 3289 = 59.8%

IMPERVIOUS AREA:

DRIVEWAY= 522 SQ. FT.

FRONT WALKWAY= 70 SQ. FT.

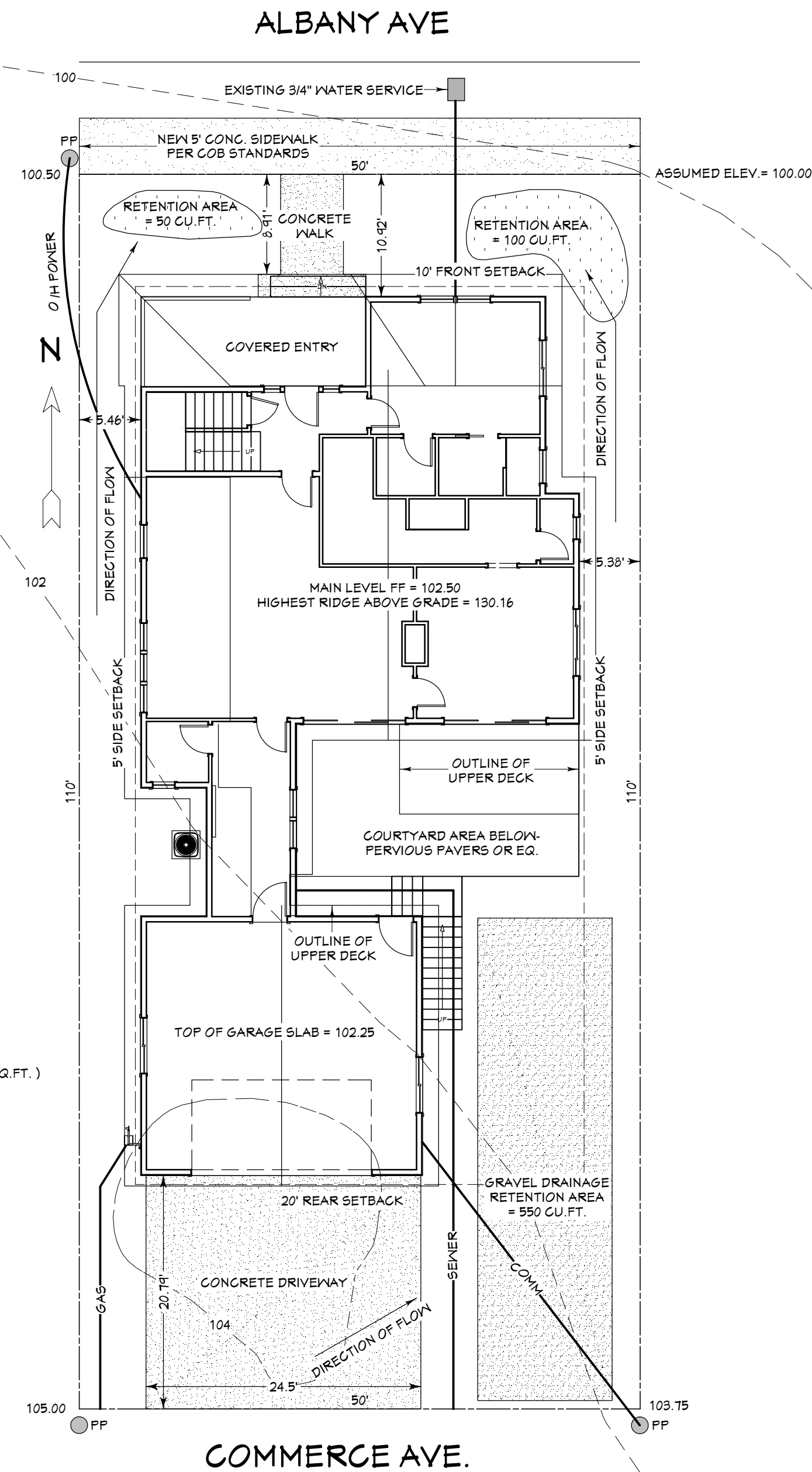
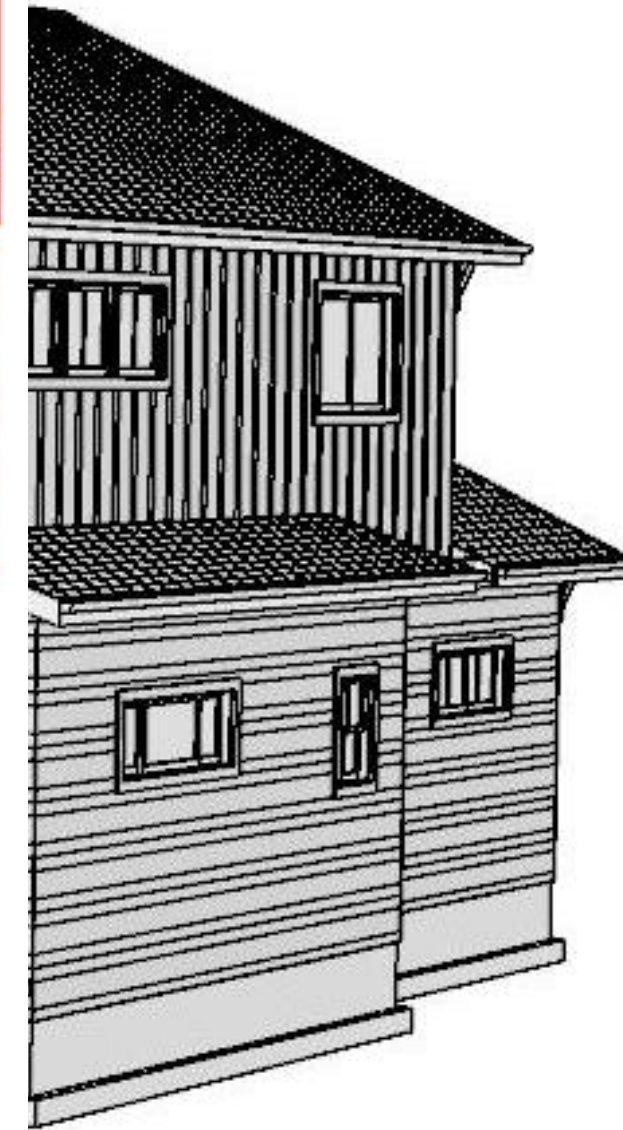
ROOF AREA = 2514 SQ. FT.

TOTAL= 3111 SQ. FT.

TOTAL RETENTION REQUIRED = 666 CUBIC FEET

RESERVED FOR BUILDING DEPARTMENT STAMP

REVIEWED FOR
CODE COMPLIANCE
BP-19-0254-SFD
1235 NW ALBANY
AVE



SITE PLAN 1"=10'

Layout Page Table		
Number	Label	Title
1	A0.01	COVER SHEET AND SITE PLAN
2	A0.02	PLAN NOTES
3	A1.01	MAIN AND UPPER FLOOR PLANS
4	A1.02	FOUNDATION AND LOWER FLOOR FRAMING
5	A1.03	LOWER ROOF & UPPER FLOOR - UPPER ROOF FRAMING
6	A2.01	EXTERIOR ELEVATIONS- BUILDING SECTIONS
7	A2.02	EXTERIOR ELEVATIONS
8	55.01	DETAILS- STRUCTURAL

REVISION TABLE	
NUMBER	DATE
REV BY	DESCRIPTION

PROJECT LOCATION:
WORTHINGTON RESIDENCE
1235 NW ALBANY AVE,
BEND OR 97703

PROJECT FOR:
STEVE MCDONNELL
SIENNA BUILDING COMPANY
541-241-0406

RESIDENTIAL CONSTRUCTION
AND DESIGN
541-280-1120 PH PO BOX 1167
541-610-1144 FAX BEND OR 97703
CCB# 165287

ROB LITTLETON INC.

DATE:

2/11/2019

SCALE:

1/4"=1" U.N.O.

SHEET TITLE:
COVER SHEET
AND SITE PLAN

SHEET:

A0.01

RESERVED FOR BUILDING DEPARTMENT STAMP

REVIEWED FOR
CODE COMPLIANCE
BP-19-0254-SFD
1235 NW ALBANY
AVE

REVISION TABLE	
NUMBER	DESCRIPTION

PROJECT LOCATION:
WORTHINGTON RESIDENCE
1235 NW ALBANY AVE.
BEND OR 97103

PROJECT FOR:
STEVE MCDONNELL
SIENNA BUILDING COMPANY
541-241-0406

RESIDENTIAL CONSTRUCTION
AND DESIGN
541-280-1120 PH PO BOX 1167
541-510-1744 FAX BEND OR 97103
CCB# 165287

ROBERT
LITTLETON INC.

DATE:

2/11/2019

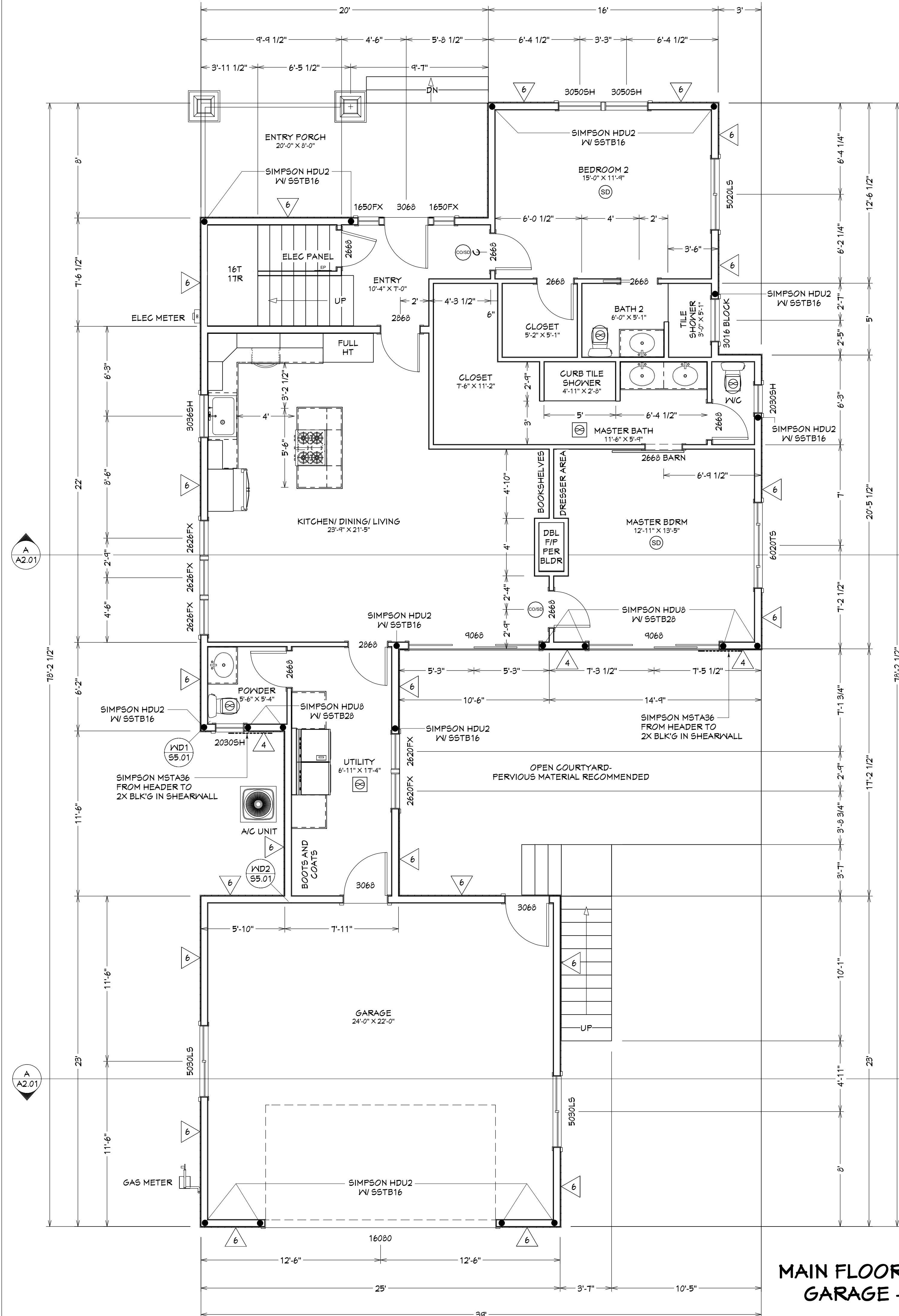
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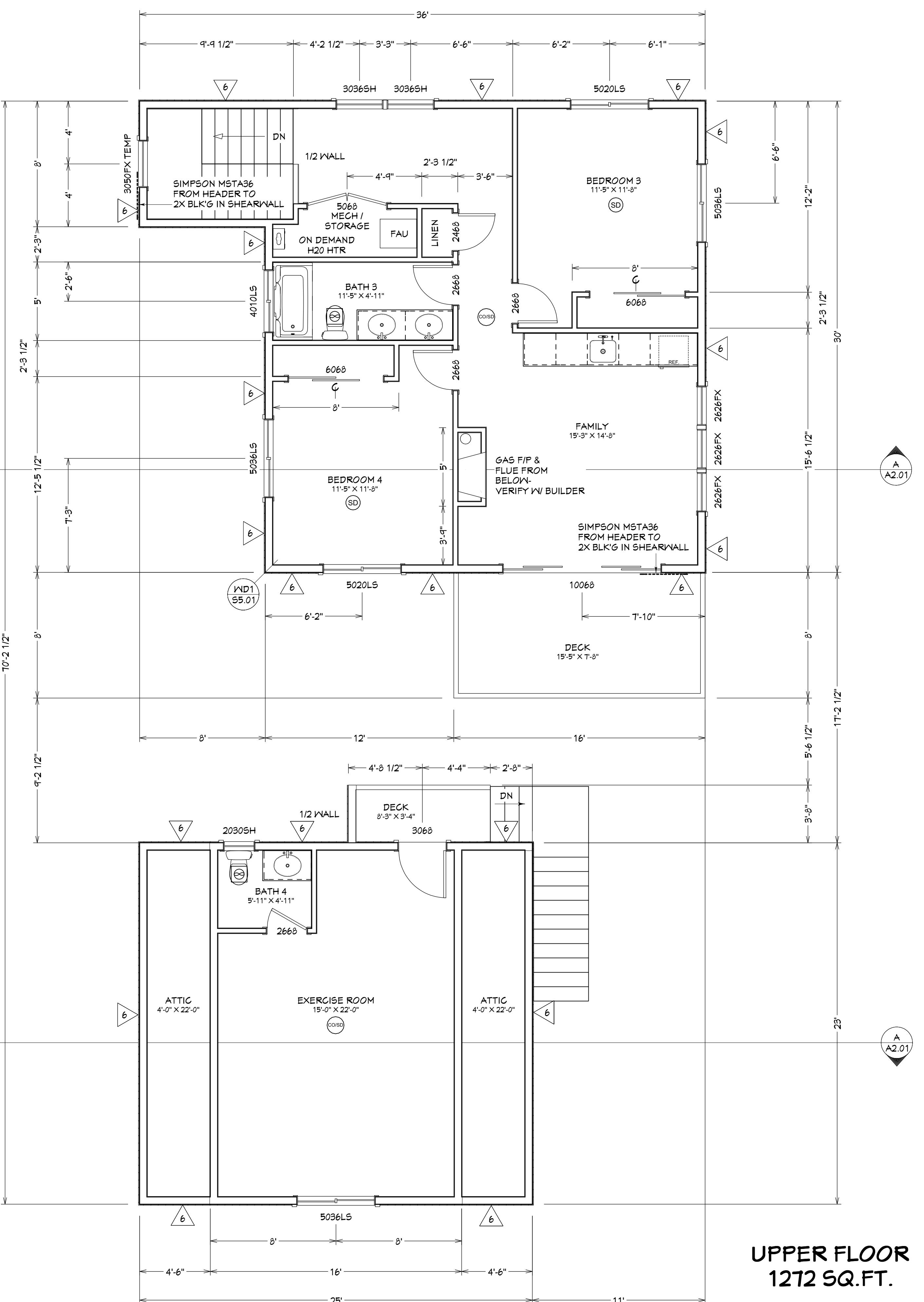
SHEET TITLE:
MAIN AND
UPPER FLOOR
PLANS

SHEET:

A1.01



MAIN FLOOR - 1442 SQ.FT.
GARAGE - 512 SQ.FT.



UPPER FLOOR
1272 SQ.FT.



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NUMBER	DATE

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1235 NW ALBANY AVE.
BEND OR 97103

PROJECT FOR:
STEVE MCDONNELL
SIENNA BUILDING COMPANY
541-241-0406

RESIDENTIAL CONSTRUCTION
AND DESIGN
541-280-1120 PH PO BOX 1167
541-510-1744 FAX BEND OR 97103
CCB# 165287

ROBERT LITTLETON INC.

DATE:

1/15/2014

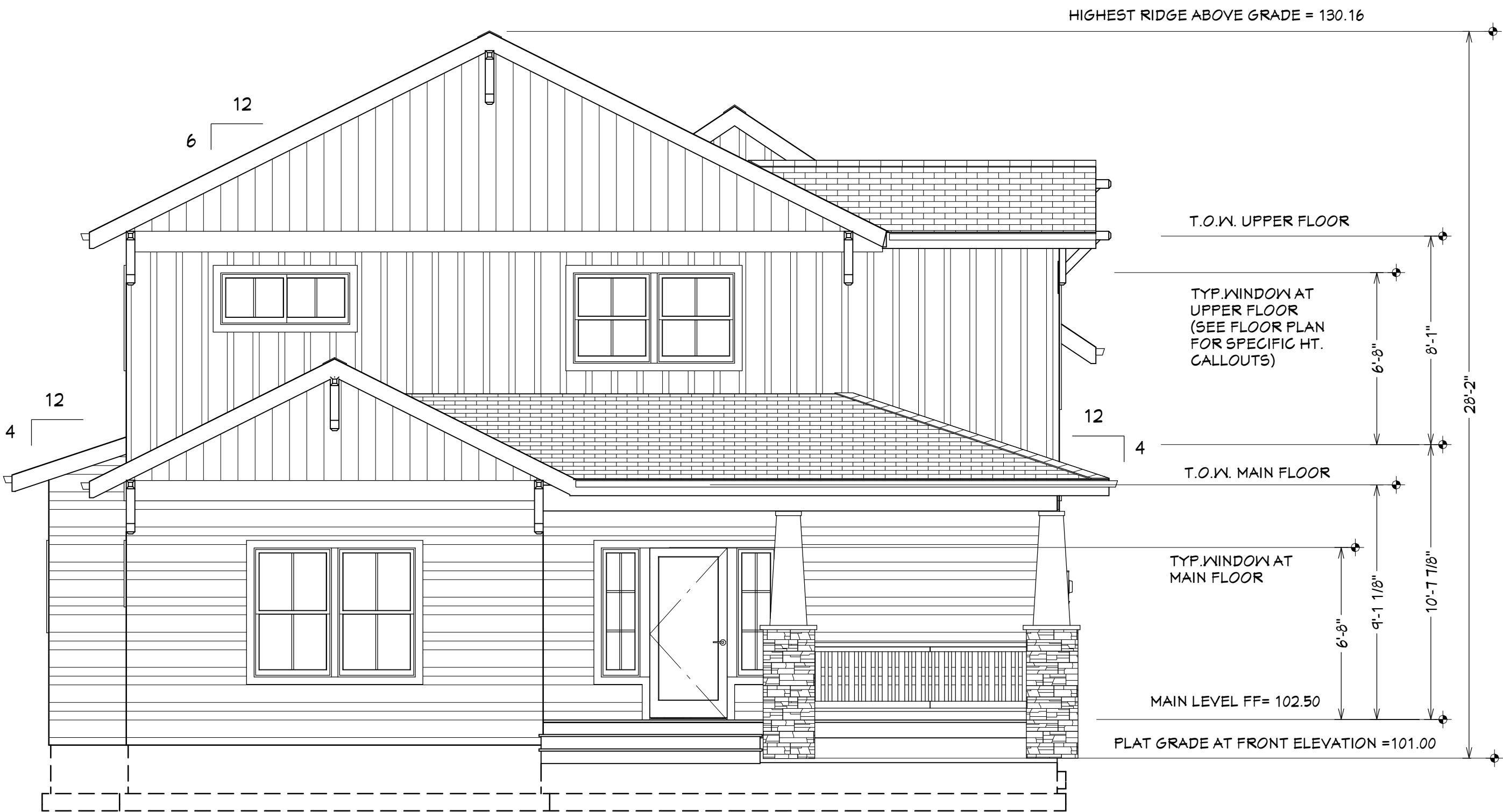
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SHEET TITLE:
EXTERIOR
ELEVATIONS,
BUILDING
SECTIONS

SHEET:

A2.01



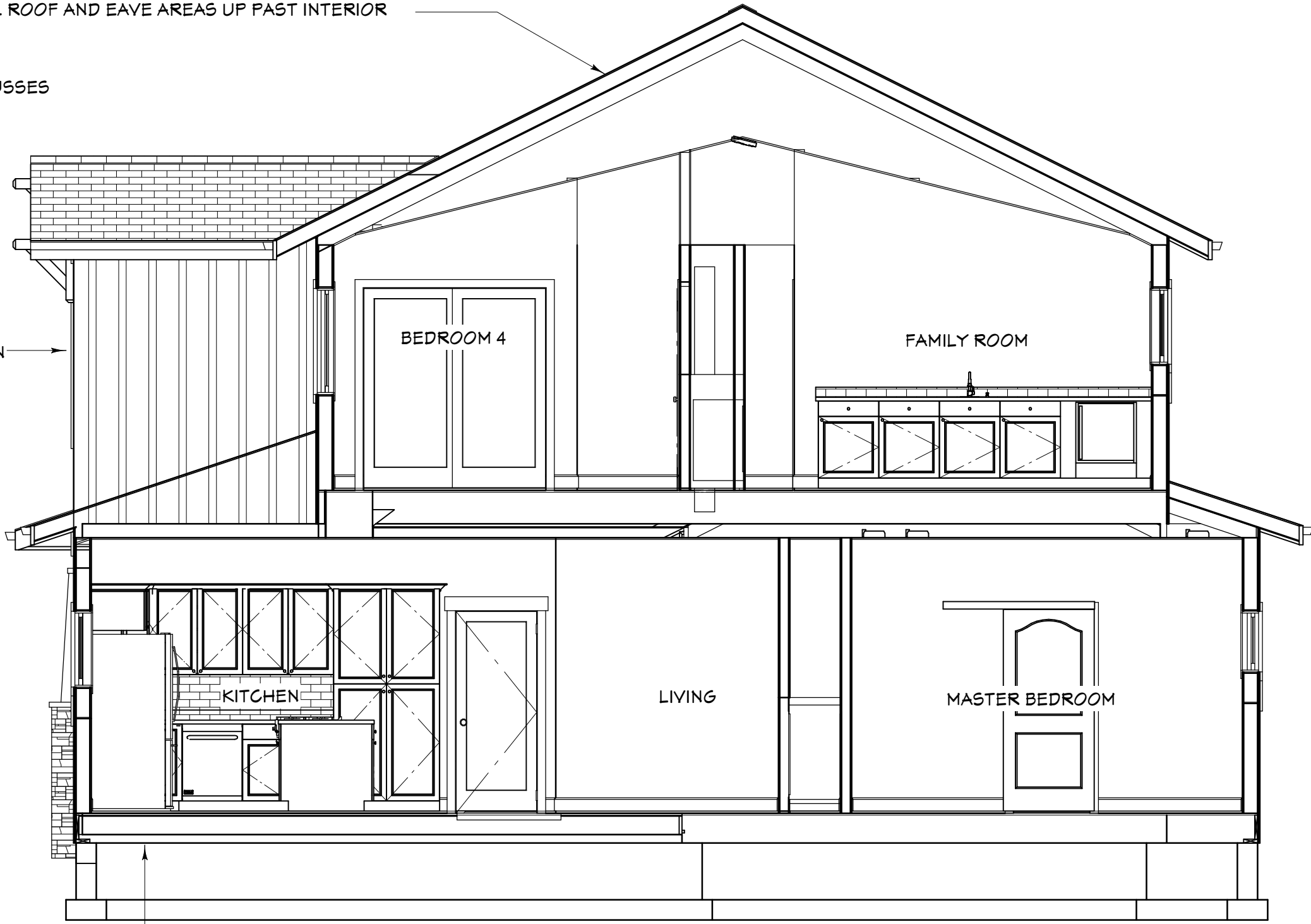
FRONT ELEVATION

TYP ROOF ASSEMBLY:

- COMPOSITION SHINGLES
- 15# MIN FELT PAPER
- CONTINUOUS RIDGE VENT OR CUT IN VENTS 1 SQFT PER 150 SQFT
- ICE AND WATER SHIELD TO COVER ALL ROOF AND EAVE AREAS UP PAST INTERIOR SIDE OF WALL
- MIN 1/16 OSB ROOF SHEATHING
- INSULATION PER CODE
- 2X12 GDF RAFTER OR MANF ROOF TRUSSES
- 1/2" GNB OR OTHER FINISH MATERIAL

TYP WALL ASSEMBLY:

- FINISH SIDING MATERIAL PER PLAN
- AIR INFILTRATION BARRIER
- 1/16" OSB WALL SHEATHING
- 2X6 GDF STUDS @ 16" O/C
- MIN R23 INSULATION
- 1/2" GNB



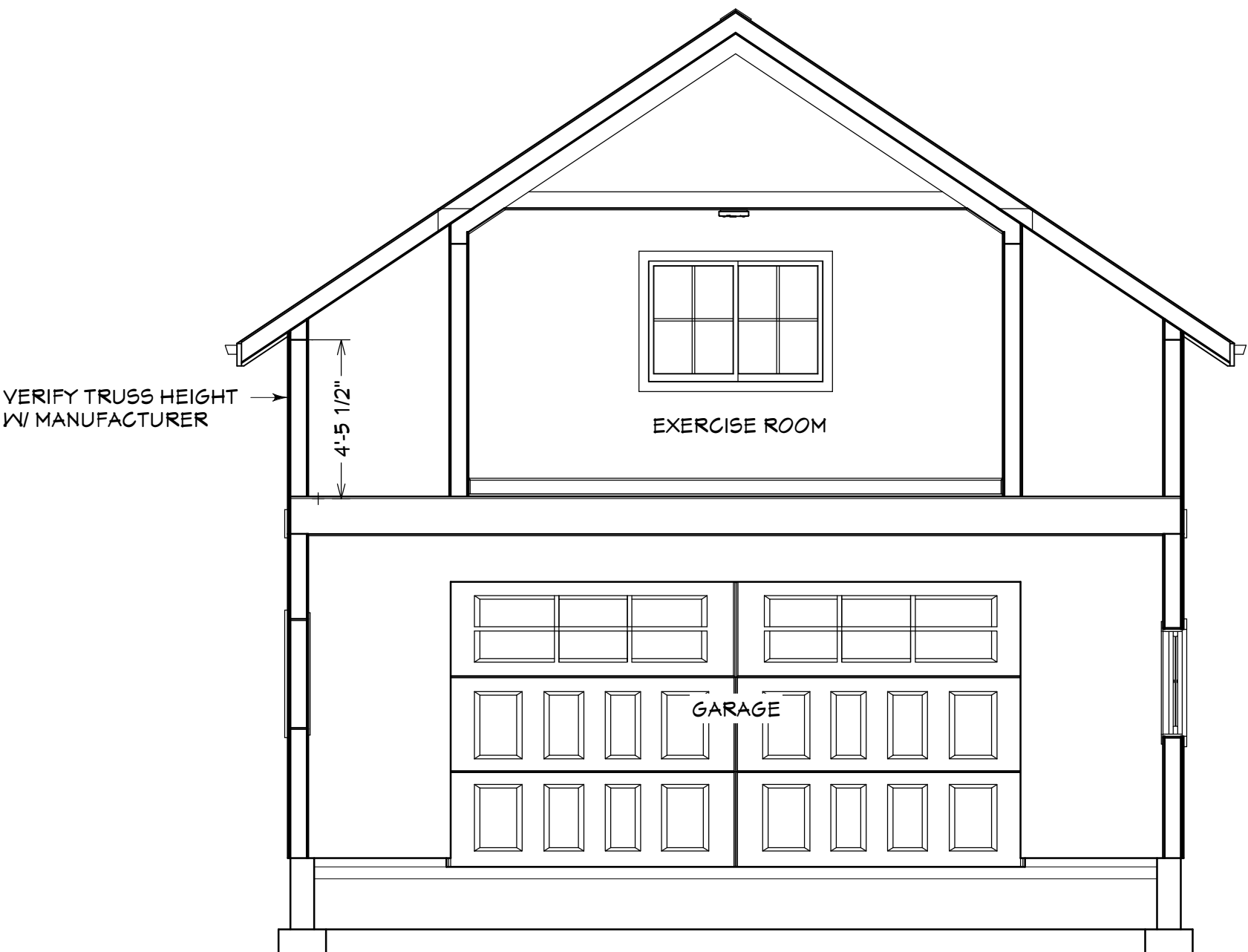
TYP FLOOR ASSEMBLY:

- FINISH FLOOR MATERIAL
- 3/4" T&G FLOOR SHEATHING
- FLOOR JOISTS PER FRAMING PLAN
- BATT INSULATION PER CODE
- PROVIDE 6MIL VAPOR BARRIER AT CRAWL SPACE

BUILDING SECTION A



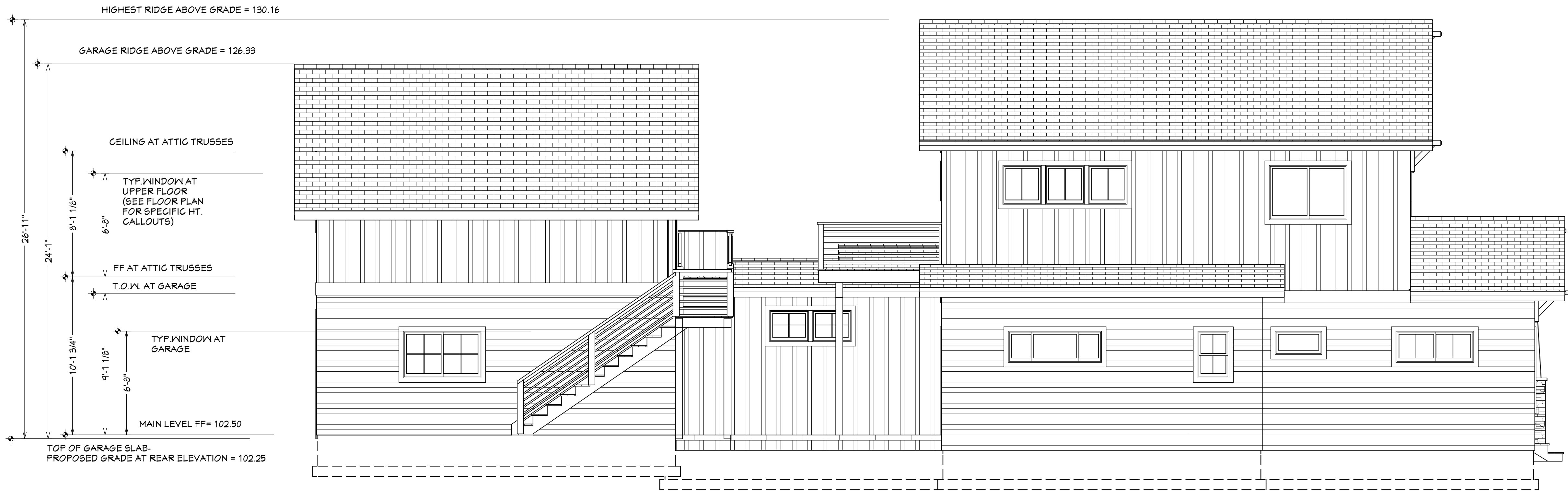
REAR ELEVATION



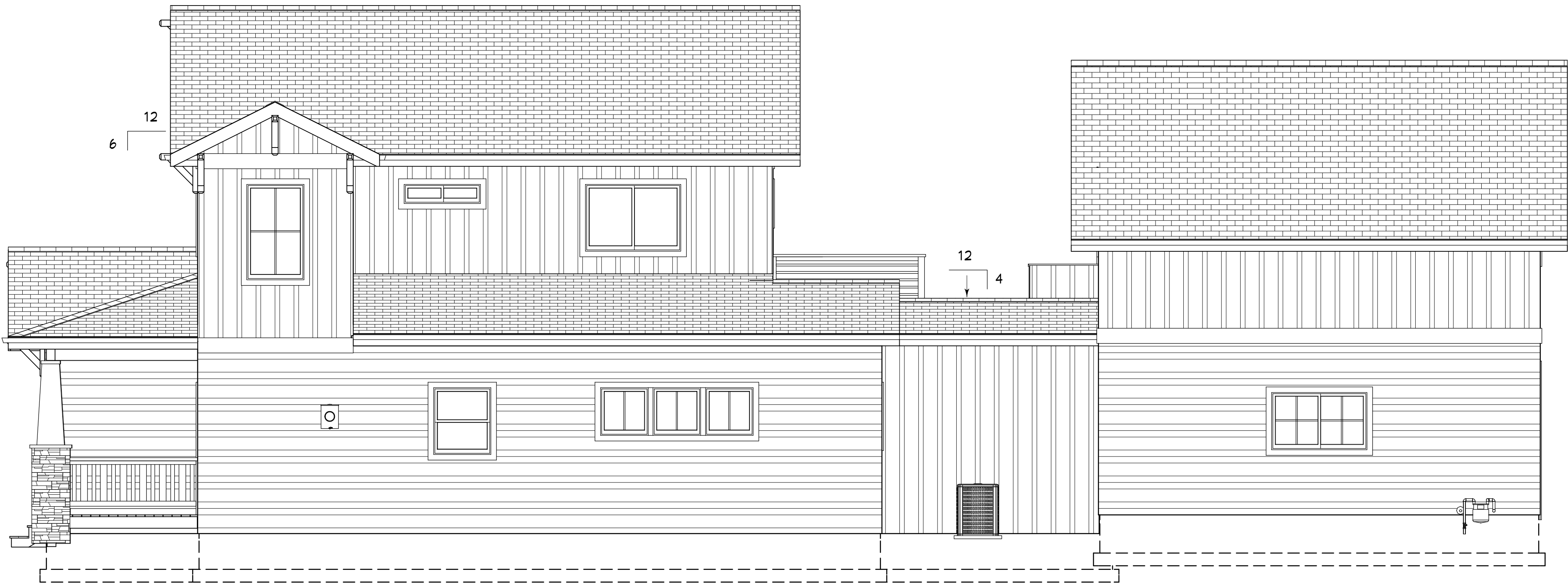
GARAGE SECTION B

RESERVED FOR BUILDING DEPARTMENT STAMP

REVIEWED FOR
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1235 NW ALBANY
AVE



LEFT ELEVATION



RIGHT ELEVATION

EXTERIOR FINISH NOTES

ROOFING - 40 YEAR COMPOSITION

FASCIA - 2X6 PRIMED TRIM
SHADOW BOARD- N/A

SIDING - LOWER- 9 1/4" HARD-LAP W/ 3" EXPOSURE (1 COURSE)
5 1/4" HARD-LAP W/4" EXPOSURE (2 COURSE)
UPPER- HARD-SHEET SIDING W/ 1X4 BATTENS @ V16" O/C
GABLE ENDS- 1X VERTICAL BARN WOOD PER BUILDER

CORNER TRIM - METAL CORNERS OR 1X4 PER BUILDER

BAND TRIM - 2X10 PRIMED TRIM

WINDOW TRIM - 5/4 X 4 SIDE TRIM
5/4 X 4 APRON
5/4 X 4 HEAD

STONE VENEER - CULTURED STONE (VERIFY W/ BUILDER)

BUILT-UP COLUMNS- PRIMED TRIM WRAP AROUND SUPPORT POST

EXPOSED BEAMS - 6X12 RESAWN DF
CORBELS- 4X4 DF#1

DECKING- 2X6 CEDAR OR 5/4 X 6 COMPOSITE- VERIFY W/ CONTRACTOR
(MIN RAIL HT 36" AFF. MAX CLEAR OPENING 4" WHERE APPLIES)
PROVIDE HORIZONTAL METAL RAIL PER BUILDER.

NOTE:
PROVIDE WINDOW FLASHING AND DRAIN-WRAP PER MANF. DETAILS.

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NUMBER	DATE

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RESIDENTIAL CONSTRUCTION AND DESIGN	541-280-1120 PH 541-510-1744 FAX CCB# 165287	PO BOX 1167 BEND OR 97103
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ROB
RITTLETON INC.

DATE:
1/15/2019
SCALE:
1/4"=1' U.N.O.
SHEET TITLE: EXTERIOR ELEVATIONS
SHEET:
A2.02