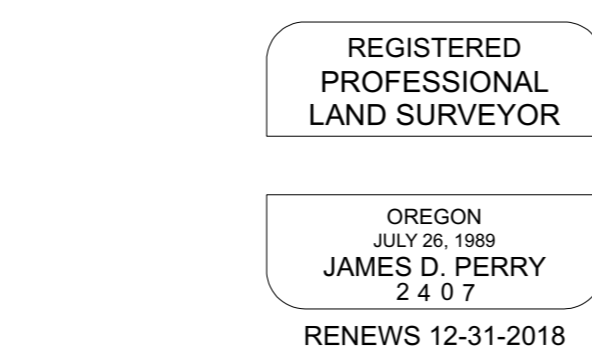
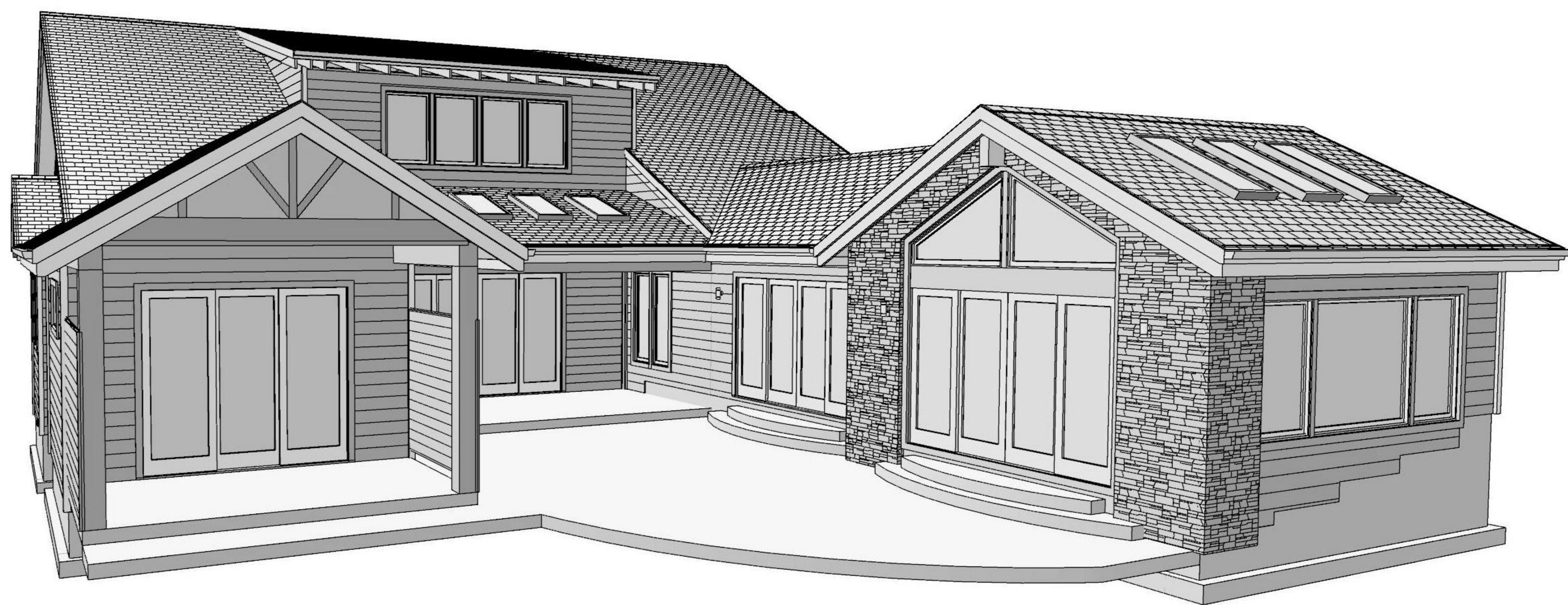


Pursuant to Bend Code 10.3.5.200 all outdoor lighting fixtures shall be designed as a full cut-off fixture or have a shielding method to direct light emissions down on the site and not shine direct illumination or glare onto adjacent properties.



BUILDING LOT COVERAGE AND CALCULATIONS

BUILDINGS LOT COVERAGE AND CALCULATIONS:

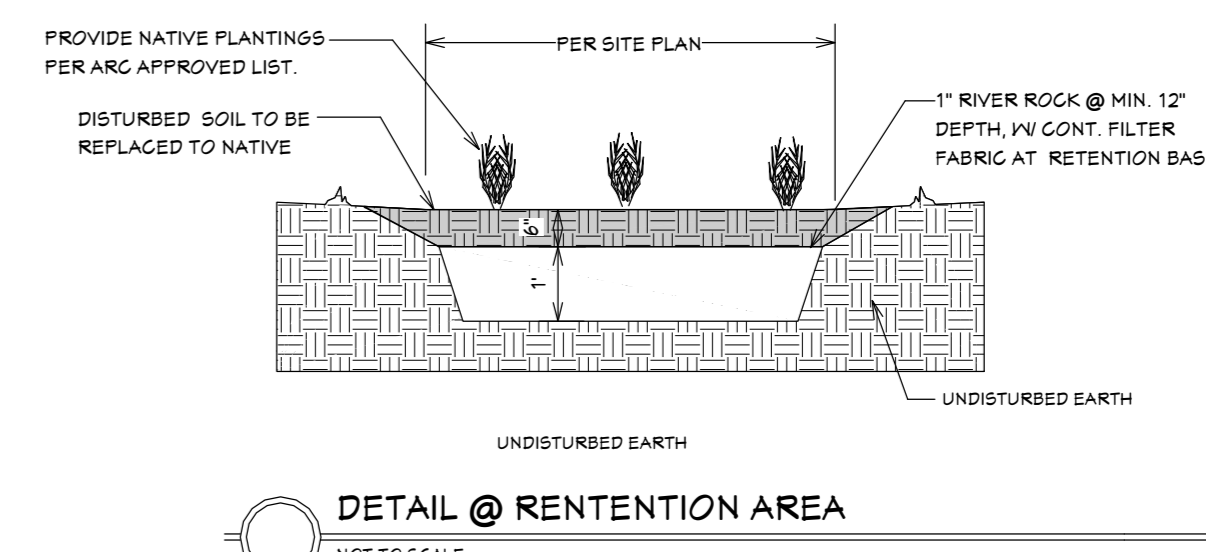
LOT AREA = 11495 SQ.FT.
ALLOWABLE LOT COVERAGE 50% = 5747.5 SQ.FT.

PROPOSED BUILDING COVERAGE:
DWELLING = 2398 SQ.FT. - TOTAL LIVING
UNCONDITIONED ROOM = 294 SQ.FT.
MECH AREA = 662 SQ.FT.
DECKS AND COVERED PORCHES = 454 SQ.FT.
TOTAL BUILDING FOOTPRINT = 3846 SQ.FT.
(. 5% EXCLUSION FOR DECKS AND COVERED PORCHES = 575 SQ.FT.

IMPERVIOUS AREA:
 DRIVEWAY= 940 SQ.FT.
 FRONT WALKWAY= 95 SQ.FT.
 ROOF AREA = 4374 SQ.FT.
 TOTAL= 5409 SQ.FT. (47.05 % OF LOT)
 TOTAL RETENTION REQUIRED = 1136 CUBIC FEET

GRADING AND DRAINAGE NOTES:

CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES
• PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING
• FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND
DISPERSED TRENCHING
• DRAINAGE CONTAINMENT CALCULATIONS SHALL BE LISTED ON THE SITE DRAWINGS AND
APPROVED BY THE ENGINEER
• AREAS TO BE FILLED SHALL BE CLEARED, GROUND TO REMOVE TREES, VEGETATION,
ROOTS AND OTHER OBSTRUCTIONAL MATERIAL AND STRIPPED OF TOPSOIL
• THE FILL SHALL BE COMPACTED TO A MINIMUM OF 95% IN ORDER TO EXCEED 12
INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED
• ALL SURFACE WATER AND RUNOFF TO BE CONTAINED ON SITE
• VERIFY FLOW DIRECTION OF ALL EXISTING DRAINAGE
• DRAINAGE RETENTION SHALL BE LINED WITH "FIBER" FILM, OR APPROVED EVO
AND FREE DRAINING ROVER ROCK TO BLEND WITH SURROUNDING LANDSCAPE ELEMENTS
• DRAINAGE RETENTION SHALL BE LINED WITH "FIBER" FILM, OR APPROVED EVO
RUNOFF DOES NOT ERODE FINISH GRADE AT EAVE
• FINAL GRADING SHALL ALLOW FOR A MINIMUM OF 6" OF FLOVATION THE FIRST 10'-0"



DETAIL @ RETENTION AREA

LABEL	TITLE
A0.01	COVER SHEET & SITE PLAN
A0.02	PLAN NOTES
A1.01	MAIN FLOOR PLAN- FOUNDATION & FLOOR FRAMING PLAN
A1.02	ROOF FRAMING PLAN - BUILDING SECTIONS
A2.01	EXTERIOR ELEVATIONS
S5.01	STRUCTURAL DETAILS

[illegible]

A NEW HOME FOR -
STEVE McDOWELL
SIENNA BUILDING COMPANY
541-241-0406

PROJECT LOCATION:
2756 CHAMPION CIRCLE
BEND OR. 97703

**RESIDENTIAL CONSTRUCTION
AND DESIGN**

541-280-1120 PH PO BOX 7167
41-610-1744 FAX BEND OR, 97701
CCB# 165287

ROBERT LITTLETON INC.

DATE:
3/27/2019
SCALE:
1/4"=1' U.N.O.
SHEET:
A0.01

DATE	REVISED BY/DESCRIPTION

A NEW HOME FOR -
STEVE McDONELL
SIENNA BUILDING COMPANY
541-241-0406

RESIDENTIAL CONSTRUCTION
AND DESIGN
541-260-1120 PH
541-610-1744 FAX
PO BOX 1167
BEND OR 97103
CCBH 165287

ROB
LITTLETON INC.

DATE:	2/11/2014
SCALE:	1/4"=1' U.N.O.
SHEET:	A1.01

Interconnected hard wired smoke detectors required located in each bedroom, immediately outside bedroom and one on each story. (R314.3). Carbon Monoxide alarms shall be located in each room or within 15 feet outside of each bedroom door. Bedrooms on separate floor levels in a structure consisting of two or more stories shall have separate carbon monoxide alarms serving each story. (R315.2)

Exhaust Rates for Residential Dwellings
Table M1507.4
Range hoods/ downdraft exhaust Min. 150 cfm intermittent. Exhaust to outside. Rooms containing bathing and spa facilities Min. 80 cfm intermittent or 20 cfm continuous
Toilet rooms without bathing or spa facilities, when not provided with natural ventilation in accordance with Section R303.3.2 Min. 50 cfm

Handrails/Stairways
Stairways shall comply with R311.7
Handrails shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finished surface of the ramp slope, shall be not less than 30 inches and not more than 38 inches. R311.7.7, R311.7.7.1

Fireblock Protection
R302.11 Fire blocking. In combustible construction, fire blocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.

R310 Emergency Egress
Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. R310.1.1 Minimum opening area. All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m²). Exception: Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m²). R310.1.2 Minimum opening height. The minimum net clear opening height shall be 24 inches (610 mm). R310.1.3 Minimum opening width. The minimum net clear opening width shall be 20 inches (508 mm). R310.1.4 Operational constraints. Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge. Minimum sill height 24" or per R312.2
Tempered- Door 24"
Safety glazing required when located adjacent to a door with nearest vertical edge located within 24 inches in closed position and bottom of glazing less than 60 inches above walking service. Exception given when wall with glazing is perpendicular to door and door does not swing towards glazing. (R308.4 #2)

Tempered- Shower/Bathtub
Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom exposed edge of the glazing is less than 60 inches measured vertically above any standing or walking surface. (R308.4 #5)

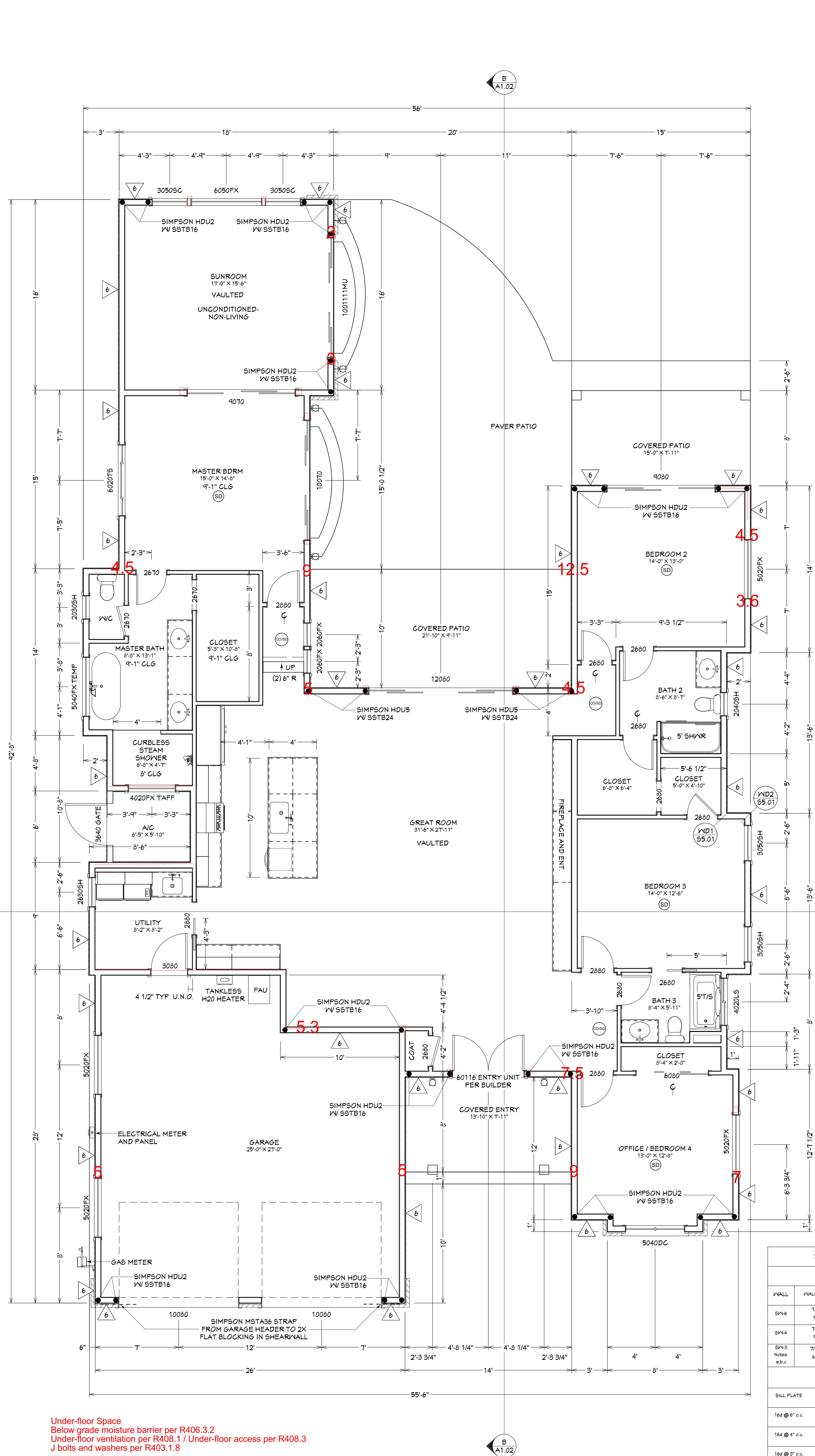
Tempered- Stairway
Safety glazing required adjacent to stairways when within 36 inches horizontally of walking service and glazing less than 60 inches above walking surface, also required within 60 inches horizontally of bottom tread when glazing less than 60 inches above walking surface. One tread constitutes stairway per building code.(R308.4 #7)

PLUMBING OR ELECTRICAL HAS NOT BEEN REVIEWED

SHEARWALL SCHEDULE			
WALL INFORMATION			
WALL	WALL SHEATHING	EDGE NAILING	FIELD NAILING
SW4	1/2" on one side of wall	6d @ 8" o.c.	6d @ 12" o.c.
SW4	1/2" on one side of wall	6d @ 4" o.c.	6d @ 12" o.c.
SW3	1/2" on one side of wall	6d @ 3" o.c.	6d @ 12" o.c.
FASTENERS (Where Applicable)			
SILL PLATE	MIN JOIST	FOUNDATION ANCHORS	ALLOWABLE LOAD
16d @ 8" o.c.	Simpson L850 @ 24" o.c.	1/2"x10" A.B. @ 40" o.c.	295
16d @ 4" o.c.	Simpson L850 @ 12" o.c.	1/2"x10" A.B. @ 30" o.c.	315
16d @ 3" o.c.	Simpson L850 @ 10" o.c.	1/2"x10" A.B. @ 24" o.c.	710

SCHEDULE NOTES:
• All exterior framed walls not designated with a wall label shall be sheathed and anchored according to the requirements of shear wall 6.
• Studs shall be spaced at 24" o.c. maximum (plywood may be installed either vertically or horizontally).
• All shear panels are to be continuous between horizontal diaphragms (roof to floor, floor to floor, floor to foundation).
• All framed shear walls shall be blocked at all panel edges.

Footnotes: Apply to type 3 wall only
a) Studs and/or blocking at adjoining panel edges shall be 3x minimum and the nails shall be staggered.
b) Sill plates shall be 3x minimum and sill plate nailing shall be staggered.
c) As a substitute for 3x members, double studs may be nailed together with 16d nails @ 8" o.c.



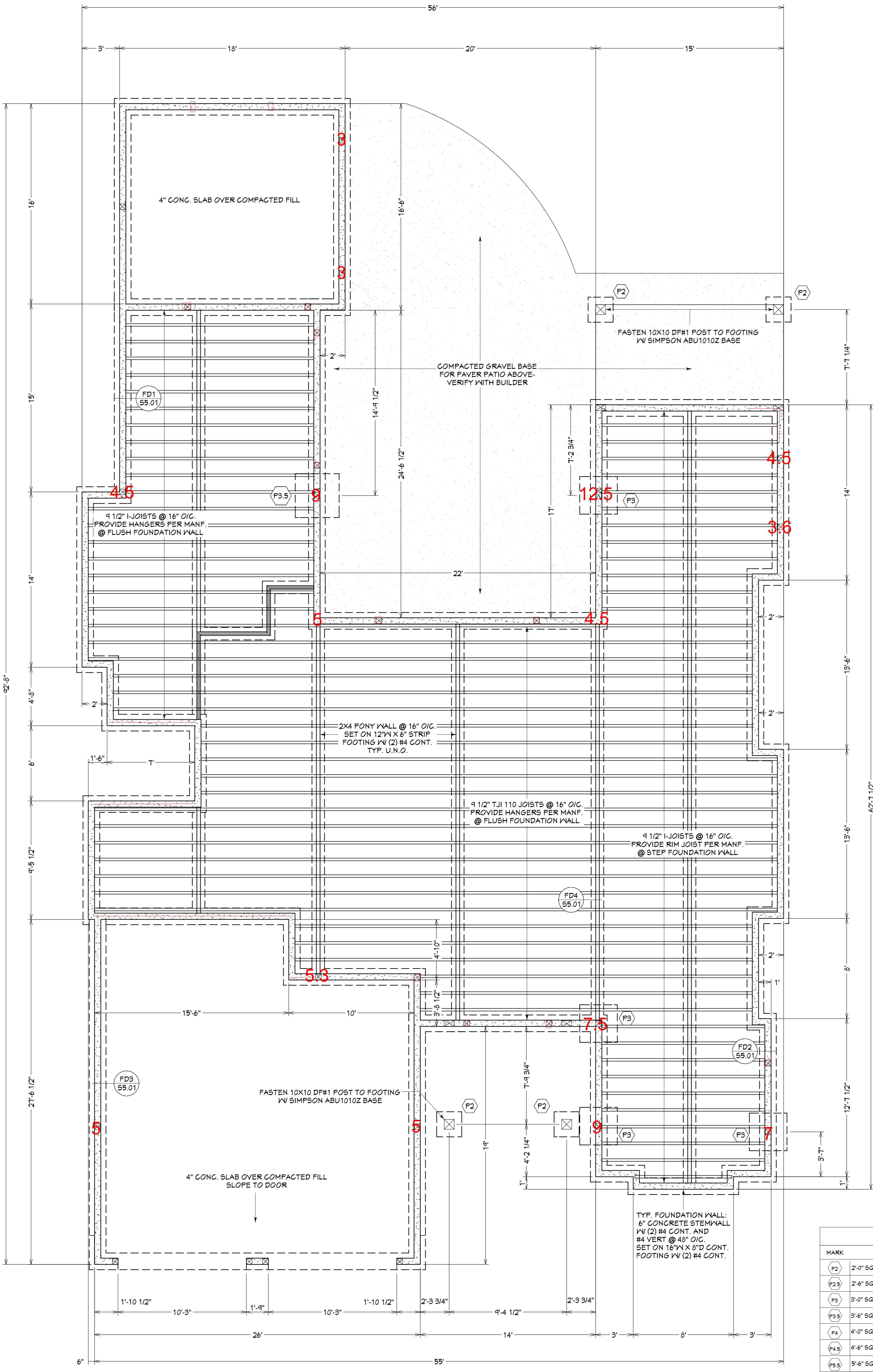
Under-floor Space
Below grade moisture barrier per R406.3.2
Under-floor ventilation per R408.1 / Under-floor access per R408.3
J bolts and washers per R403.1.8

Footings outside of the footprint will need to be inspected prior to pour.

Slope garage floor R309.1 Drainage R401.3 Install protection against physical damage per M1308.2.

R602.9 Cripple walls with a stud height less than 14 inches shall be continuously sheathed on one side with wood structural panels fastened to both the top and bottom plates in accordance with TR602.3(1), or the cripple walls shall be constructed of solid blocking.

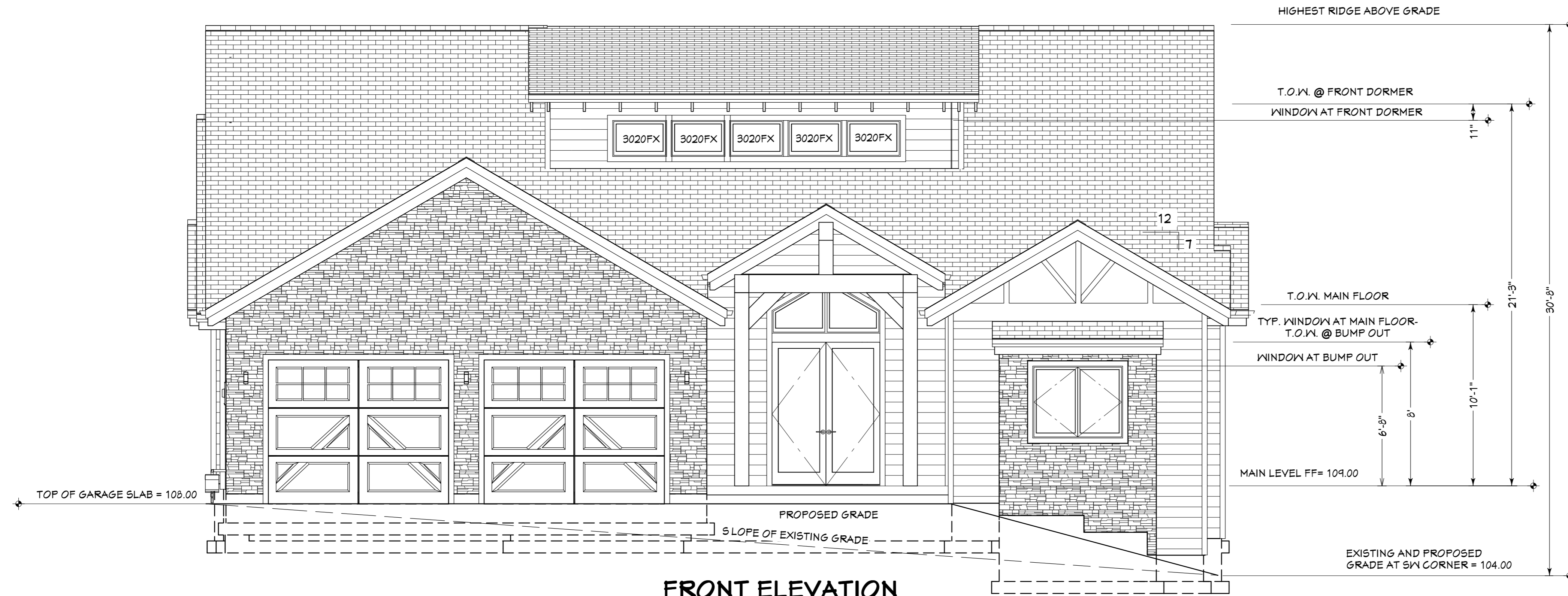
FLOOR PLAN
LIVING AREA = 2344 SQ.FT.
UNCONDITIONED SUNROOM = 284 SQ.FT.
GARAGE = 662 SQ.FT.



FOOTING SCHEDULE		
MARK	SIZE	MAIN REINFORCEMENT
(F2)	2'-0" 5G x 10" THICK PAD FTG	(2) #4 BARS EACH WAY, BTM
(F3)	2'-6" 5G x 10" THICK PAD FTG	(4) #4 BARS EACH WAY, BTM
(F4)	3'-0" 5G x 10" THICK PAD FTG	(4) #4 BARS EACH WAY, BTM
(F5)	3'-6" 5G x 10" THICK PAD FTG	(4) #4 BARS EACH WAY, BTM
(F6)	4'-0" 5G x 10" THICK PAD FTG	(4) #4 BARS EACH WAY, BTM
(F7)	4'-6" 5G x 10" THICK PAD FTG	(5) #4 BARS EACH WAY, BTM
(F8)	5'-0" 5G x 10" THICK PAD FTG	(5) #5 BARS EACH WAY, BTM

NOTES:
1. CENTER PAD FOOTING BELOW COLUMNS OR PIERS, UNLESS DETAILED OTHERWISE
2. CENTER CONTINUOUS FOOTING BELOW FOUNDATION WALL OR BEARING WALL, UNLESS DETAILED OTHERWISE

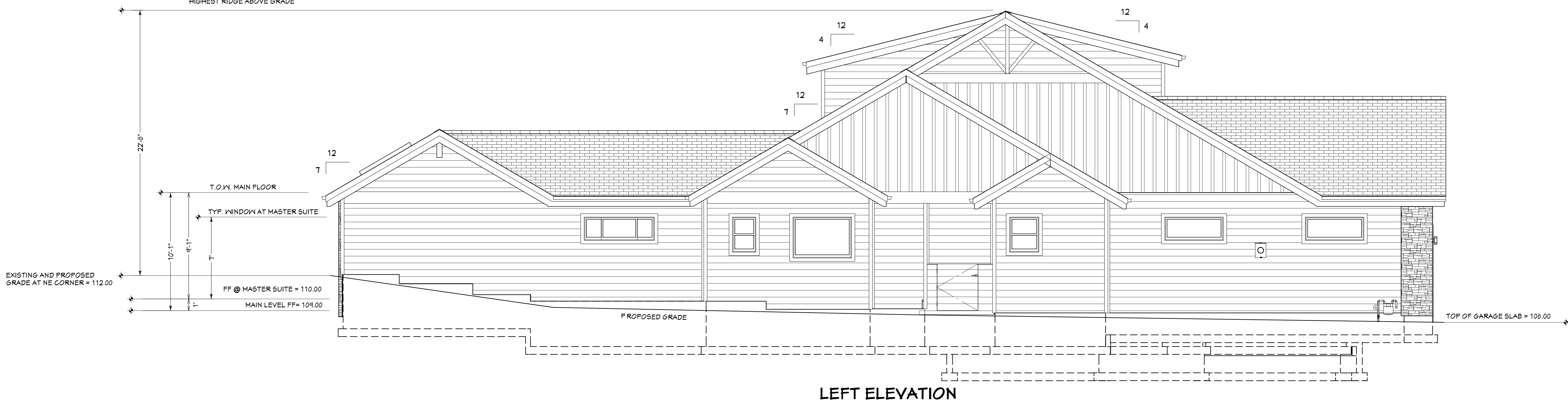
FOUNDATION AND LOWER FLOOR FRAMING PRELIM



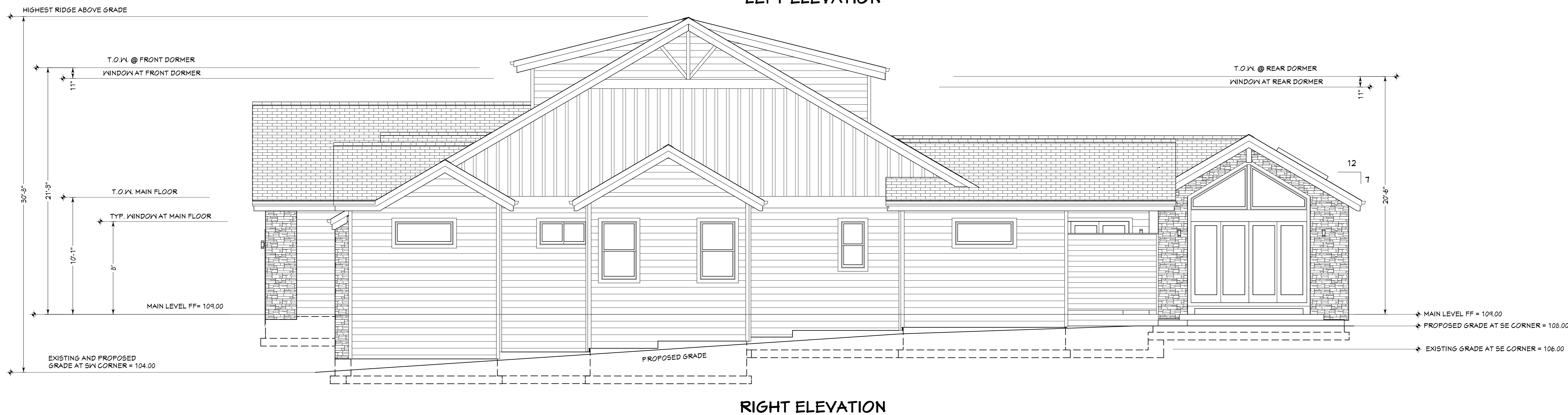
FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

EXTERIOR FINISH NOTES

- ROOFING - COMPOSITION LANDMARK PRO: HEATHER BLEND
FASCIA - 2 X12 RIS CEDAR W/ 2X6 RIS CEDAR SHADOW BOARD
SIDING - 3/4" REVEAL CEDAR LAP
SIDING AT GABLES - BRECKENRIDGE SHEET SIDING W/ 1X4 BATTENS @ 16" O/C
SIDING AT ACCENT GABLES- HARDI STUCCO PANEL W/ PRIMED TRIM KIEBS
CORNER TRIM - 5/4 X 4 PRIMED TRIM RIS CEDAR
GABLE BAND TRIM - 2X10 PRIMED TRIM
WINDOW TRIM - 2X4 PRIMED TRIM
STONE VENEER - PRO-FIT ALPINE LEDGESTONE- UMBER CREEK
ALL EXPOSED POST AND BEAM STOCK TO BE RE-SAWN DP STOCK U.N.O.
DECKING- 2X6 CEDAR OR 5/4 X 6 COMPOSITE- VERIFY W/ CONTRACTOR
(MIN RAIL HT 36" AFF. MAX CLEAR OPENING 4" WHERE APPLIES)
SOFFITS- BRECKENRIDGE OR PLAIN LP SHEET
WINDOWS- VINYL PER BUILDER
NOTE:
PROVIDE WINDOW FLASHING AND DRAIN WRAP PER DETAILS.