

A NEW RESIDENCE

FOR

Steve & Marie Downey

1415 Spring River Drive

Redmond Oregon 97756

Downey Residence
1415 Spring Ridge Court
Redmond, Oregon 97756



BUILDING PERMIT SUBMITTAL SET DECEMBER 18 2020

COVER SHEET

PROJECT TEAM

STRUCTURAL	DESIGNER	BUILDER
ECLIPSE ENGINEERING 365 NE QUIMBY AVE. BEND OR 97701 541.389.9659 Attn: Jamie Garcia	AXIS3 DESIGN STUDIO, LLC 1345 NW WALL STREET BEND OR 97703 541.678.0541 Attn: Edmund CP Wadeson	SIENNA BUILDING COMPANY 63155 NW VIA PALAZZO BEND OR 97703 541.241.0406 Attn: Steven McDowell

DRAWING LIST

ARCHITECTURAL	STRUCTURAL	TRUSS
A0.0 COVER SHEET A1.0 SITE PLAN ** A1.1 TOPOGRAPHICAL SURVEY ** A1.2 GENERAL NOTES A2.0 MAIN FLOOR PLAN A2.1 ROOF PLAN A3.0 EXTERIOR ELEVATIONS A3.1 EXTERIOR ELEVATIONS A4.0 BUILDING SECTIONS A4.1 BUILDING SECTIONS	S0.0 GENERAL NOTES S1.0 FOUNDATION PLAN S2.0 FLOOR FRAMING PLAN S2.1 ROOF FRAMING PLAN S3.0 LATERAL PLAN & DETAILS S4.0 STRUCTURAL DETAILS S4.1 STRUCTURAL DETAILS	TR.1 TRUSS LAYOUT
		FLOOR
		FL.1 FLOOR SYSTEM LAYOUT

** (submitted for information purposes only)

DATE	RELEASE
121820	PERMIT REVIEW

A0.0

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SITE PLAN

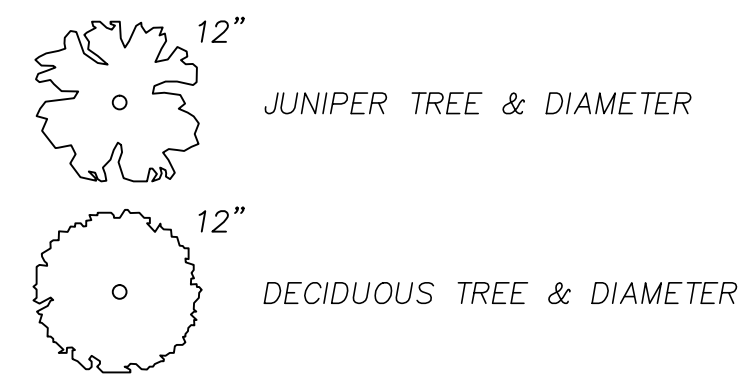
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A1.0

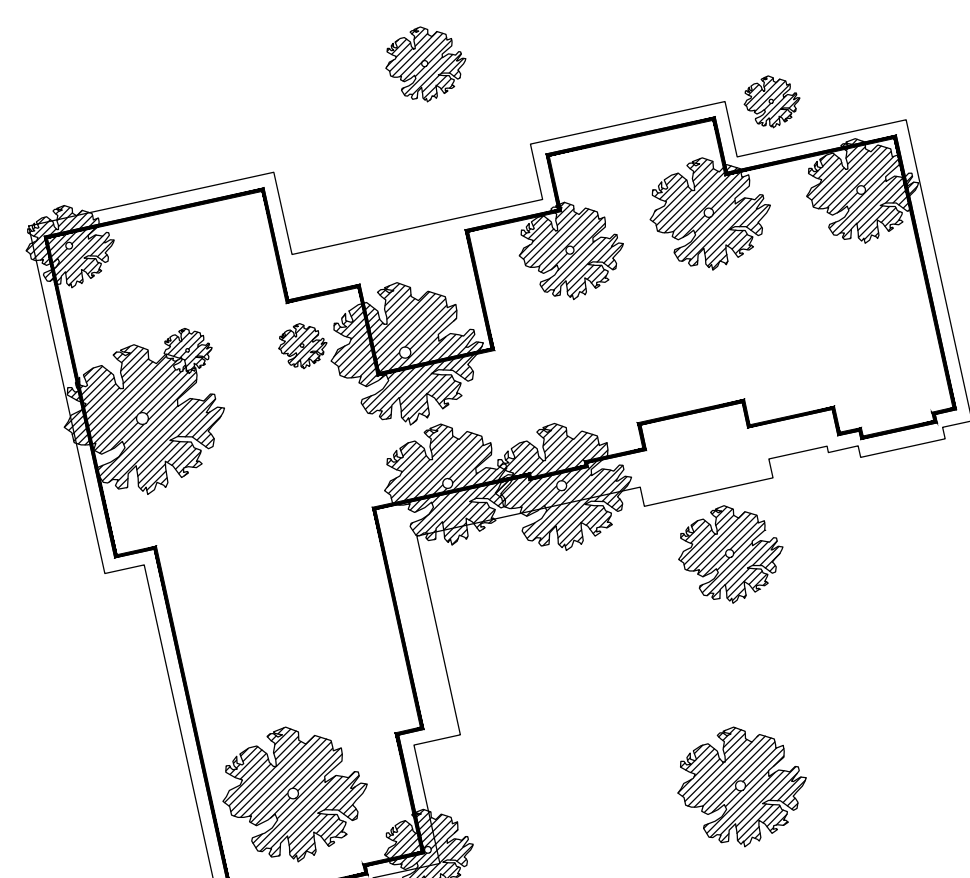
FAR	LOT AREA	= 35,974.3 sf = .82 AC
BLDG = 4,097.6 sf	BLDG FOOTPRINT	= 4,097.6 sf
LOT = 15,334.0 sf	CONCRETE PATIO	= 682.0 sf
= .267	ENTRY	= 155.0 sf
= 26.7%	BLDG COVERAGE	= 4,934.0 sf

LEGEND

- FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "W&H PACIFIC" UNLESS NOTED OTHERWISE
- (P) BEARING & DISTANCE PER PLAT OF "ENCHANTMENT ON THE DESCHUTES" BY LYNN BRUNO, FILED 10/16/2003 AS CS15722
- (M) MEASURED BEARING & DISTANCE
- (C) CALCULATED BEARING & DISTANCE



- Ⓜ WATER METER
- ⓔ ELECTRIC PEDESTAL
- ⓐ COMMUNICATIONS PEDESTAL
- Ⓢ WATER VALVE
- ⓐ 2" PVC GAS STUBOUT
- ⓐ 4" PVC SEWER STUBOUT
- Ⓢ SANITARY SEWER MANHOLE
- ⓔ POWER VAULT
- ⓔ POWER TRANSFORMER
- Ⓢ FIRE HYDRANT



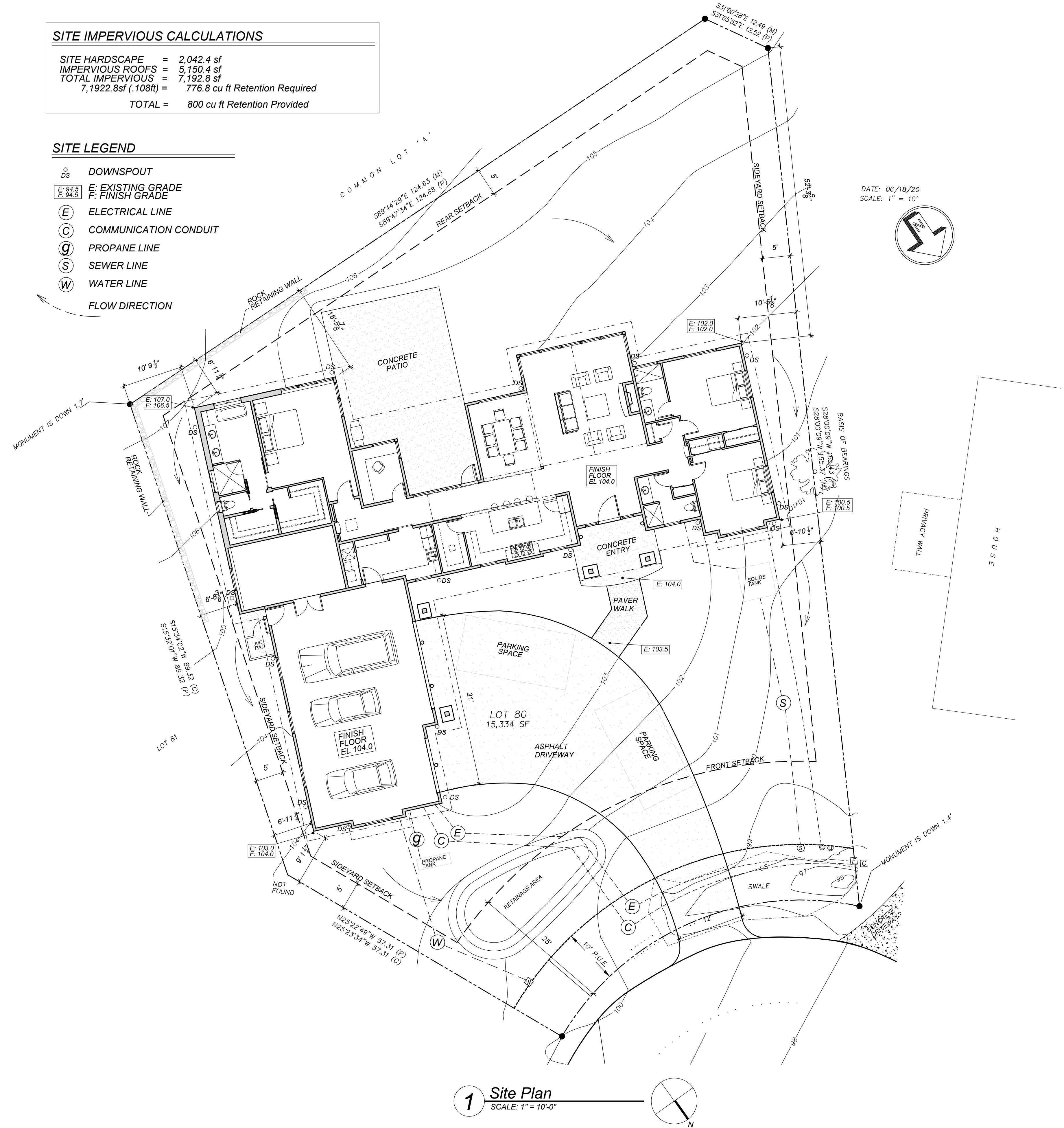
2 Tree Removal Plan
SCALE: nts

denotes existing trees to be removed

SITE HARDSCAPE	= 2,042.4 sf
IMPERVIOUS ROOFS	= 5,150.4 sf
TOTAL IMPERVIOUS	= 7,192.8 sf
7,192.8sf (.108ft)	= 776.8 cu ft Retention Required
TOTAL	= 800 cu ft Retention Provided

SITE LEGEND

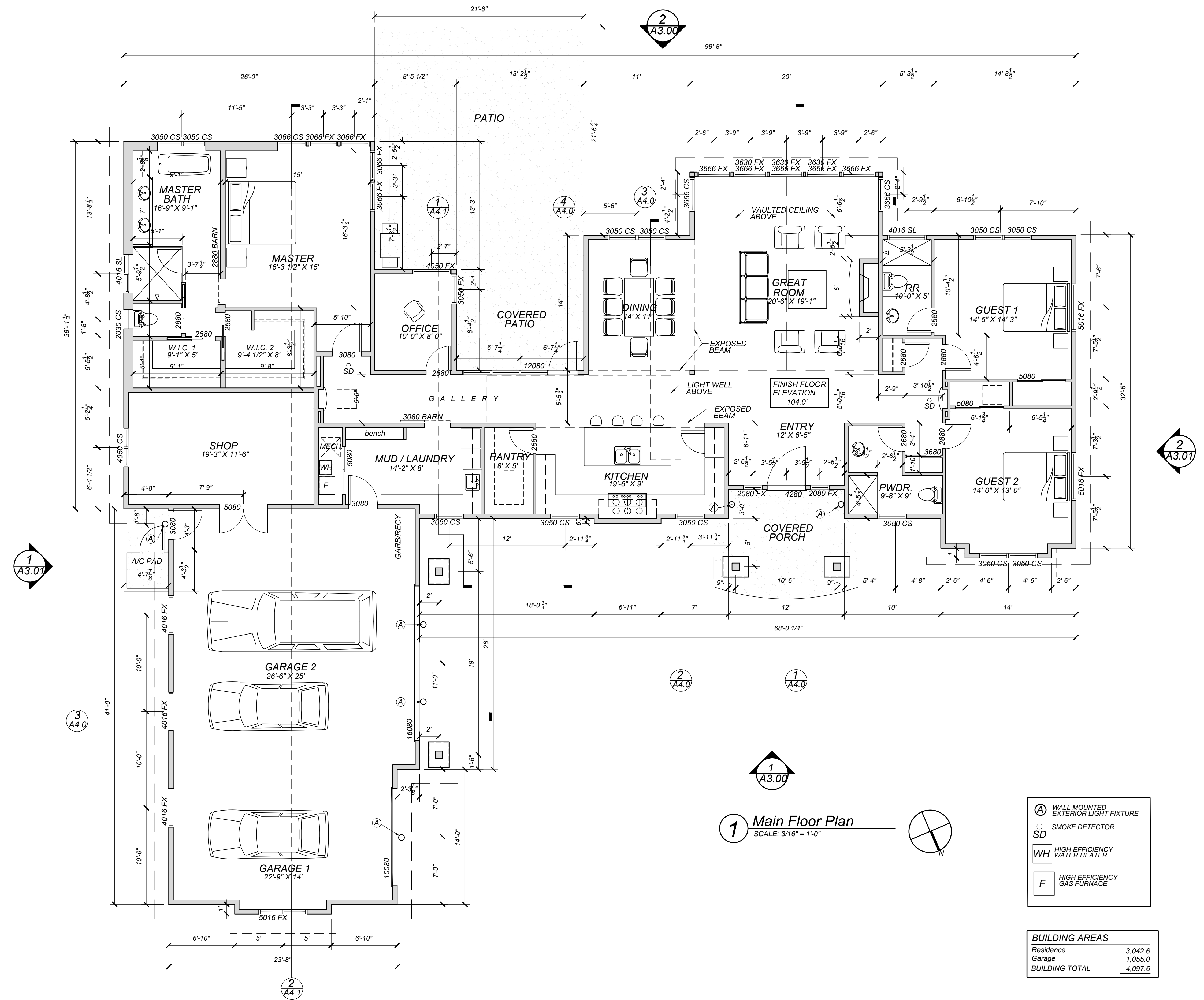
- Ⓢ DOWNSPOUT
- ⓔ EXISTING GRADE
- ⓔ FINISH GRADE
- ⓔ ELECTRICAL LINE
- ⓐ COMMUNICATION CONDUIT
- ⓐ PROPANE LINE
- Ⓢ SEWER LINE
- Ⓢ WATER LINE
- FLOW DIRECTION



1 Site Plan
SCALE: 1" = 10'-0"

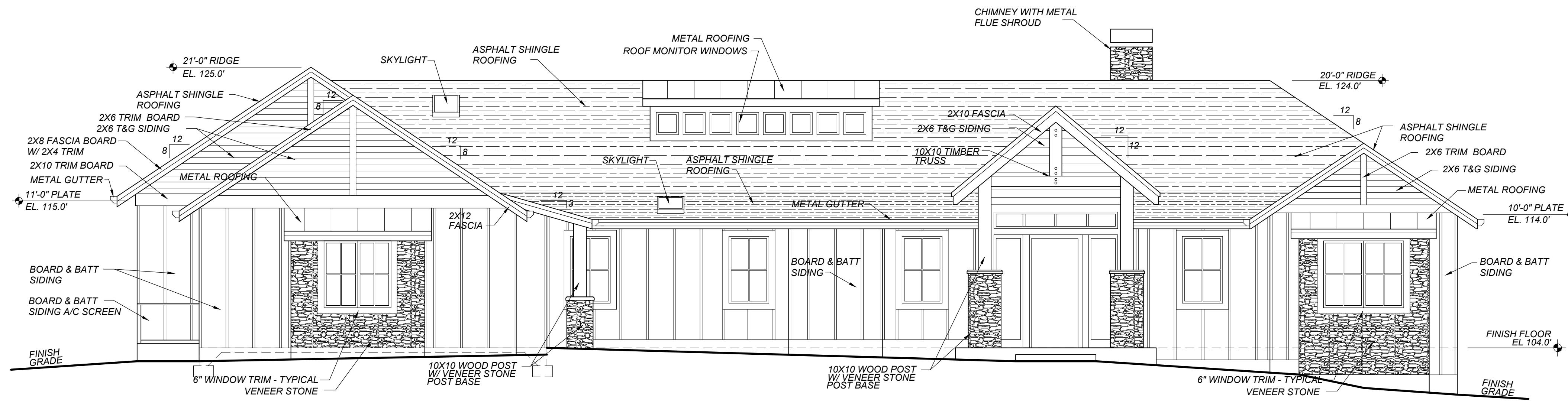
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MAIN FLOOR PLAN

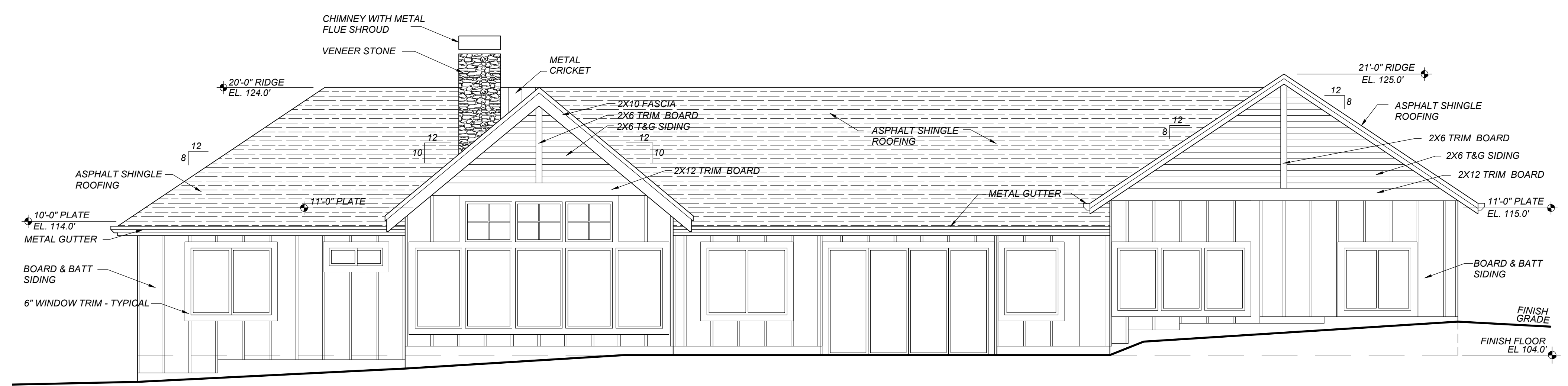


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1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

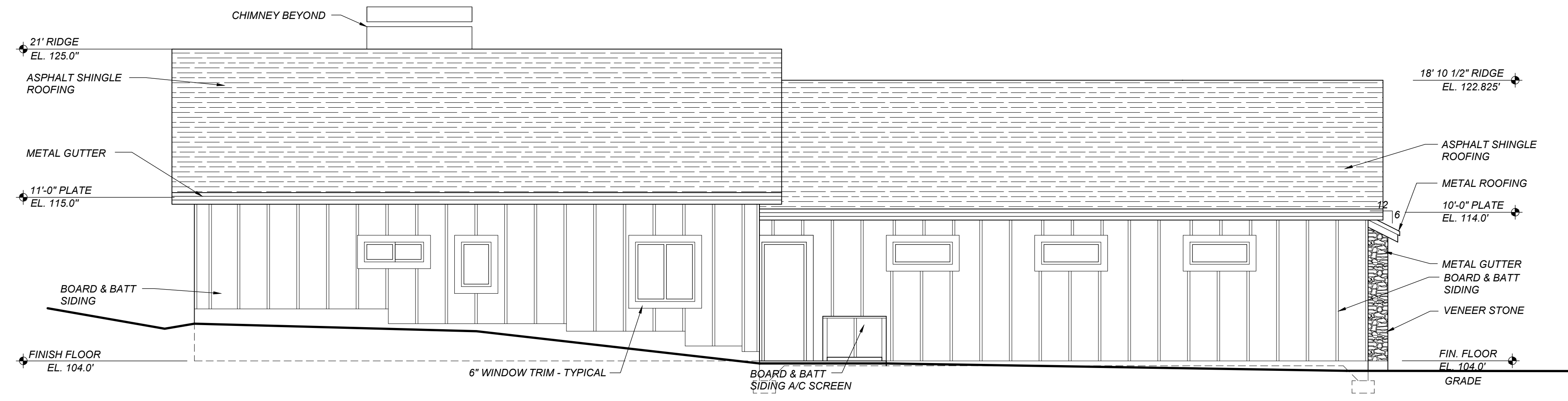
EXTERIOR ELEVATIONS

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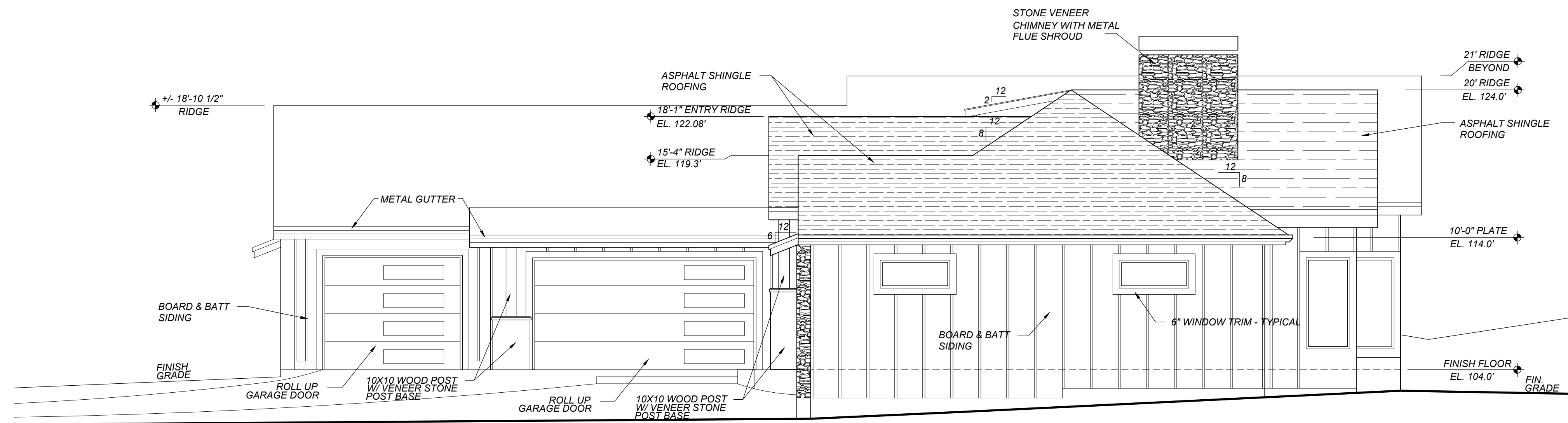
A3.0

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EXTERIOR ELEVATIONS



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"

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